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COUNTY OF SAN DIEGO • DEPARTMENT OF PLANNING AND LAND USE

**DATE:** June 27, 2008

**TO:** Planning Commission

**SUBJECT:** MATTAR RESIDENCE WIRELESS TELECOMMUNICATION FACILITY;  
MAJOR USE PERMIT P06-058, VALLE DE ORO COMMUNITY  
PLANNING AREA (District: 2)

**SUMMARY:**

**Overview**

This is a request for a Major Use Permit to authorize the construction and operation of an unmanned wireless facility. The facility will include a 5.5 foot tall faux chimney mounted with 15 panel antennas and placed on the existing single family residence, as well as an equipment shelter place at ground level. The associated equipment will consist of five equipment cabinets, two heating, ventilation, and air conditioning (HVAC) units, one global positioning satellite (GPS) antenna, and a back-up battery, and will be completely enclosed by a 10-foot high Concrete Masonry Unit (CMU) equipment shelter. The equipment shelter will have a pitched roof and will be stuccoed, painted, and textured to match the existing on-site residence. Additionally, the access door to the equipment shelter will be designed to include relief and resemble a barn or shed door. The project will occupy 312 square feet of the 0.58 acre parcel. The project is subject to the Regional Land Use Element Policy Current Urban Development Area (CUDA) and General Plan Land Use Designation (3) Residential. It is zoned RR2 (Rural Residential) which permits Wireless Telecommunication Facilities under the Tier 4 Classification with the approval of a Major Use Permit pursuant to Section 6985A of the Zoning Ordinance.

**Recommendation(s)**

**DEPARTMENT OF PLANNING AND LAND USE**

Grant the attached Form of Decision approving Major Use Permit P06-058 that makes the appropriate findings and includes those requirements and conditions necessary to ensure that the project is implemented in a manner consistent with the Zoning Ordinance, Noise Ordinance, and State Law (Attachment B).

**Fiscal Impact**

N/A

**SUBJECT:** MATTAR RESIDENCE WIRELESS TELECOMMUNICATION FACILITY;  
MAJOR USE PERMIT P06-058, VALLE DE ORO COMMUNITY  
PLANNING AREA (District: 2)

**Business Impact Statement**

N/A

**Advisory Board Statement**

N/A

**Involved Parties**

Owner: Leroy and Doris Matter

Agent: Debra DePratti-Gardner, agent for Sprint/Nextel

See Ownership Disclosure (Attachment F)

**BACKGROUND:**

This is a request for a Major Use Permit to authorize the construction and operation of an unmanned wireless telecommunications facility. The applicant proposes to construct a facility that includes a 5.5 foot tall faux chimney mounted with 15 panel antennas and placed on the existing single family residence, as well as an equipment shelter place at ground level. The associated equipment will consist of five equipment cabinets, two HVAC units, one GPS antenna, and a back-up battery, and will be completely enclosed by a 10-foot high Concrete Masonry Unit (CMU) equipment shelter. The equipment shelter will have a pitched roof and will be stuccoed, painted, and textured to match the existing on-site residence. Additionally, the access door to the equipment shelter will be designed to include relief and resemble a barn or shed door.

The project site is characterized as residential. The subject parcel is 0.58 acres in size and is developed with a single family residence that is located within the central and southern portions. The single family residence is located on the portion of the parcel with access to Alta Mira Drive via a private driveway. The surrounding area can be categorized as developed and includes largely residential land use types with a handful of vacant open space parcels.

The project is classified as a Tier 4 site pursuant to Section 6985A of the Zoning Ordinance, because the site is in a non-preferred location, as further outlined below. The project is subject to the RR2 zone, which is a non-preferred zone for telecommunications facilities, pursuant to Section 6986 of the County of San Diego Zoning Ordinance. Additionally, the project is in a non-preferred location pursuant to Section 6986. Although the project is located within a non-preferred zone and location, the site was selected because no other preferred zones exist in the service area that meets the coverage objective. Pursuant to Section 6986B of the Wireless Telecommunication Facilities Ordinance, the applicant provided an alternate site analysis and a discussion of preferred zones and locations in the area and why they were not technologically or legally feasible. Due to the camouflaging of the facility and the lack of preferred zones and locations in the surrounding area, the proposed project has been determined to be preferable due to its aesthetic and community character compatibility as identified in the Land Use Analysis (Attachment G).



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MAJOR USE PERMIT P06-058, VALLE DE ORO COMMUNITY  
PLANNING AREA (District: 2)

The County is preempted by the Federal Telecommunication Act from considering Electric Magnetic Radiation (EMR) when reviewing the proposed location of cellular telephone facilities. Therefore, we do not require information from the applicant on potential health effects from EMR associated with the project. Past experience by DPLU when inquiring about health effects from cellular providers have concluded that the amounts of EMR associated with these projects is low and could only cause possible health effects when persons are exposed for long periods of time and at very close distances to the facility. Generally, this information is available from the cellular providers upon request as it is also required from the Federal Communication Commission.

**PROJECT ISSUES:**

On November 6, 2007, the Valle De Oro Community Planning Group voted 12-0 to recommend that the project would be considered acceptable if the design was modified and properly documented as recommended by five comments included in a letter to the Department of Planning and Land Use. The five comments were as follows:

1. *To satisfy the visual impact analysis, provide VDOCPG with updated drawings to dress up toe façade, stucco the equipment enclosure with a color to match the house, redesign the enclosure doors to resemble barn or shed doors so the enclosure is put into the context of an accessory building stylistically similar to the existing house.*

The equipment shelter has been redesigned with a pitched roof and will be stuccoed, painted, and textured to match the existing on-site single family residence. Additionally, the access doors to the equipment shelter will be painted to match the residence and will include relief to resemble either barn or shed doors.

2. *To minimize visual impacts, prepare an acceptable landscaping design plan, including drought resistant bushes and landscaping with native species. Specify types and adequate sizes of plantings to produce mature, well-established plants that effectively screen views of the equipment enclosure from Alta Mira Drive and nearby properties.*

The proposed project has been redesigned to include landscaping. Landscaping will consist of nineteen 15-gallon Texas Privet shrubs, which are a fire resistant species. These 19 shrubs are placed to surround the proposed equipment shelter providing further landscaping and camouflaging of the shelter.

3. *Rather than oversize the equipment shelter, either significantly reduce the floor area of the shelter by 50% or more, or conceal the equipment inside of the existing residence.*

The applicant has indicated that the proposed shelter is a standard size used by Sprint/Nextel, and that a smaller shelter would not be feasible to house the required equipment. Additionally, the location of the equipment shelter has not been modified due to maintenance concerns associated with placing the equipment in a private residence which is not as readily accessible as an outdoor equipment shelter.

**SUBJECT:** MATTAR RESIDENCE WIRELESS TELECOMMUNICATION FACILITY;  
MAJOR USE PERMIT P06-058, VALLE DE ORO COMMUNITY  
PLANNING AREA (District: 2)

4. *Modify the air conditioning (AC) enclosure ventilation feature to improve neighborhood compatibility. Reposition the louvers on the AC enclosure so AC noise is directed toward the house at 4395 Alta Mira Drive rather than broadcast toward the street and neighboring properties.*

The ventilation louvers were relocated to another location and are proposed to be oriented to the north, partially facing the existing on-site residence and partially facing Alta Mira Drive. However, DPLU has reviewed the proposed generator and determined through a noise study that the project complies with the County of San Diego Noise Ordinance.

5. *Project drawings must show the complete telecommunications project intended for this site including all proposed cabinets in the equipment shelter. Also include a full written description of the intended system (during the meeting, the applicant said that the project drawings show only one of two proposed telecommunications systems and future growth is not shown). The Major Use Permit application must not address a partial project but must contain the full scope of the entire project.*

The applicant provided information that the two proposed telecommunications systems will actually constitute one singular telecommunication facility. Sprint equipment and Nextel equipment require different technologies for each respective system. However, due to the merger of these two companies, the need for both types of technologies is taken into consideration for each project site. Though each system has a different set of technological requirements, the proposed project has been designed to meet the needs of both the Sprint and the Nextel systems simultaneously and one set of antennas is necessary. Although Sprint/Nextel requires two types of telecommunication technologies, it will not constitute the need for a second wireless telecommunication facility on this site. Therefore, the proposed project as currently designed shows the full scope of the Sprint/Nextel telecommunication facility intended for this site.

This information was conveyed to the chair of the Valle De Oro Community Planning Group on May 20, 2008, and June 13, 2008. No subsequent Valle De Oro Community Planning Group meetings on this project have occurred.

**WAIVERS AND EXCEPTIONS:**

No waivers or exceptions are required as part of Major Use Permit P06-058 approval.

**ENVIRONMENTAL STATUS:**

Pursuant to Section 15303 of the State California Environmental Quality Act Guidelines, the project is exempt from CEQA because it is an unmanned wireless telecommunications facility that qualifies as Small, New Equipment and Facilities in Small Structures. A Notice of Exemption dated June 27, 2008 is on file at the Department of Planning and Land Use as Environmental Review Number 06-14-030. See Attachment D for the environmental documentation.

**SUBJECT:** MATTAR RESIDENCE WIRELESS TELECOMMUNICATION FACILITY;  
MAJOR USE PERMIT P06-058, VALLE DE ORO COMMUNITY  
PLANNING AREA (District: 2)

**PREVIOUS ACTIONS:**

N/A

**ACTIVITIES UNDERTAKEN WITHOUT APPROPRIATE PERMITS:**

N/A

**PUBLIC INPUT:**

On March 17, 2008, the Valle De Oro Community Planning Group provided a letter to the Department of Planning and Land Use staff stating that, although an appropriate landscape design has been included, the new document does not adequately address the additional recommendations in their letter of November 7, 2007. Therefore, they stated that the project could not be considered acceptable.

On November 6, 2007, the Valle De Oro Community Planning Group voted Ayes -12 Noes - 0 Abstained - 0 to recommend that the project would be acceptable if the design was modified as recommended by five comments detailed in the letter. See the Project Issues section above for a discussion of these comments and Attachment E for the Planning Group Action Sheet.

**DEPARTMENT REASONS FOR RECOMMENDATION:**

1. The project, as proposed, is consistent with the General Plan Land Use Designation – (3) Residential because civic uses are allowed if they support the local population.
2. The project, as proposed, is consistent with the Valle De Oro Community Plan because it does not interfere either with the community design goal of preserving, maintaining and enhancing distinct community identities within the Valle De Oro Community Planning Area. As the proposed project is designed as stealth, it will not detract or disrupt the surrounding residential community.
3. The project, as proposed, is consistent with the RR2 (Rural Residential) Use Regulation that allows Wireless Telecommunications Facilities pursuant to Sections 6985 and 6986 of the Zoning Ordinance with the granting of a Major Use Permit.
4. The project, as proposed, complies with the California Environmental Quality Act and State and County CEQA Guidelines because the project is categorically exempt under Section 15303 (New Construction or Conversion of Small Structures). A Notice of Exemption dated June 27, 2008 is on file with the Department of Planning and Land Use as Environmental Review No. 06-14-030.
5. The Major Use Permit, as proposed, complies with all of the required findings of the Zoning Ordinance as described and incorporated in the attached Form of Decision, Attachment B.

**SUBJECT:** MATTAR RESIDENCE WIRELESS TELECOMMUNICATION FACILITY;  
MAJOR USE PERMIT P06-058, VALLE DE ORO COMMUNITY  
PLANNING AREA (District: 2)

cc: Debra DePratti-Gardner, 5761 Copley Drive, Suite 100, San Diego, CA 92111  
Leroy and Doris Mattar, 4395 Alta Mira Drive, La Mesa, CA 91941  
Valle De Oro Community Planning Group, Jack Phillips, P.O. Box 3958, La Mesa, CA  
91944  
Richard Lantis, DPW Project Manager, Department of Public Works, M.S. 0336  
Alyssa Maxson, Planning Manager, Department of Planning and Land Use, M.S. 0650  
Lisa Robles, Case Closure, Department of Planning and Land Use, M.S. 0650  
Carl Hebert, Case Tracking System, Department of Planning and Land Use, M.S. 0650

**ATTACHMENTS:**

Attachment A – Planning Documentation  
Attachment B – Form of Decision Approving P06-058  
Attachment C – Photo Simulations and Alternate Site Analysis  
Attachment D – Environmental Documentation  
Attachment E – Public Documentation  
Attachment F – Ownership Disclosure  
Attachment G – Land Use Analysis

**CONTACT PERSON:**

Merry Tondro

Name

(858) 694-3716

Phone

(858) 694-3373

Fax

0650

Mail Station

Merry.Tondro@sdcounty.ca.gov.

E-mail

**AUTHORIZED REPRESENTATIVE:**

 Interim Chief  
ERIC GIBSON, INTERIM DIRECTOR

# Attachment A

## Planning Documentation

# 2 - 8

## ADDITIONAL INFORMATION CASE SHEET

### APPLICATION

Meeting Date: 6-27-08

Type: Major Use Permit	Case No. P06-058
Owner/Applicant: Sprint/Nextel	ENVIRONMENTAL STATUS: Exempt from CEQA, Section 15303, New Construction or Conversion of Small Structures
Agent: Debra DePratti-Gardner	
Project Manager: Tondro Account No. 06-0063186	Analyst: Tondro Log No. 06-14-030

### SITE/PROJECT DESCRIPTION

Community: Valle De Oro	Location: 4395 Alta Mira Drive, La Mesa, CA 91941 APN: 501-041-23	Thomas Bros.: 1271/E3
<p><b>Project:</b> This is a request for a Major Use Permit to authorize the construction and operation of an unmanned wireless telecommunications facility. The facility will include a 5.5 foot tall faux chimney mounted with 15 panel antennas and placed on an existing single family residence and an equipment shelter placed at ground level. The equipment shelter will have a pitched roof and access doors and will be placed directly adjacent to the single family residence. Associated equipment will consist of five equipment cabinets, one GPS antenna, and two HVAC units. The equipment will be enclosed by a 10 foot tall Concrete Masonry Unit block equipment shelter. The project will occupy approximately 312 square feet of the 0.58 acre parcel.</p> <p><b>Site:</b> The site is developed with an average slope of less than 25 percent. The project is located on a parcel that is developed with a single family residence. The project will be located on the northeast and central portion of the property. The area in which the project will be located is adjacent to the existing single family residence.</p>		
<b>SURROUNDING LAND USES &amp; ZONING:</b> <u>North:</u> RR2 Residential	<u>South:</u> RR2 Residential	<u>East:</u> RR2 Residential
		<u>West:</u> RR2 Residential

### PROJECT STATISTICS

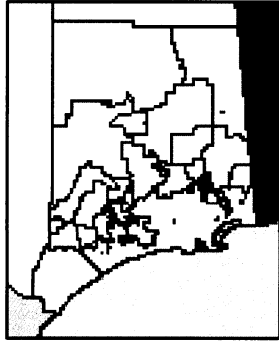
Total Area: 312ft <sup>2</sup>	Proposed Density: N/A																								
Lot Size: 0.58 acres	Number of Lots/Units: N/A																								
<table style="width: 100%;"> <tr> <th style="width: 40%;"><u>DISTRICT</u></th> <th style="width: 20%;"><u>NEAREST FACILITY</u></th> <th style="width: 40%;"><u>SERVICE LETTER AVAILABILITY</u></th> </tr> <tr> <td>Sanitation: N/A</td> <td></td> <td>Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td>Water: N/A</td> <td></td> <td>Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td>Fire: FP-2 Compliant</td> <td></td> <td>Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td>Elementary School: N/A</td> <td></td> <td>Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td>High School: N/A</td> <td></td> <td>Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td>Other: N/A</td> <td></td> <td>Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td>Sphere of Influence: N/A</td> <td></td> <td></td> </tr> </table>		<u>DISTRICT</u>	<u>NEAREST FACILITY</u>	<u>SERVICE LETTER AVAILABILITY</u>	Sanitation: N/A		Yes <input type="checkbox"/> No <input type="checkbox"/>	Water: N/A		Yes <input type="checkbox"/> No <input type="checkbox"/>	Fire: FP-2 Compliant		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Elementary School: N/A		Yes <input type="checkbox"/> No <input type="checkbox"/>	High School: N/A		Yes <input type="checkbox"/> No <input type="checkbox"/>	Other: N/A		Yes <input type="checkbox"/> No <input type="checkbox"/>	Sphere of Influence: N/A		
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Fire: FP-2 Compliant		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>																							
Elementary School: N/A		Yes <input type="checkbox"/> No <input type="checkbox"/>																							
High School: N/A		Yes <input type="checkbox"/> No <input type="checkbox"/>																							
Other: N/A		Yes <input type="checkbox"/> No <input type="checkbox"/>																							
Sphere of Influence: N/A																									

### GENERAL PLAN

### ZONING

Community/Subregion: Valle De Oro Designation/Density: (3) Residential Regional Category: Current Urban Development Area (CUDA) Project/Plan Conformance: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Existing: RR2 Proposed: N/A Minimum Lot Size: 0.5 acres Maximum Density: 2du/acre Project/Zone Consistency: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
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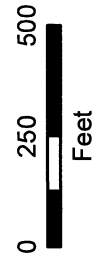
# Mattar Residence P06-058 APN: 501-041-23 Vicinity Map



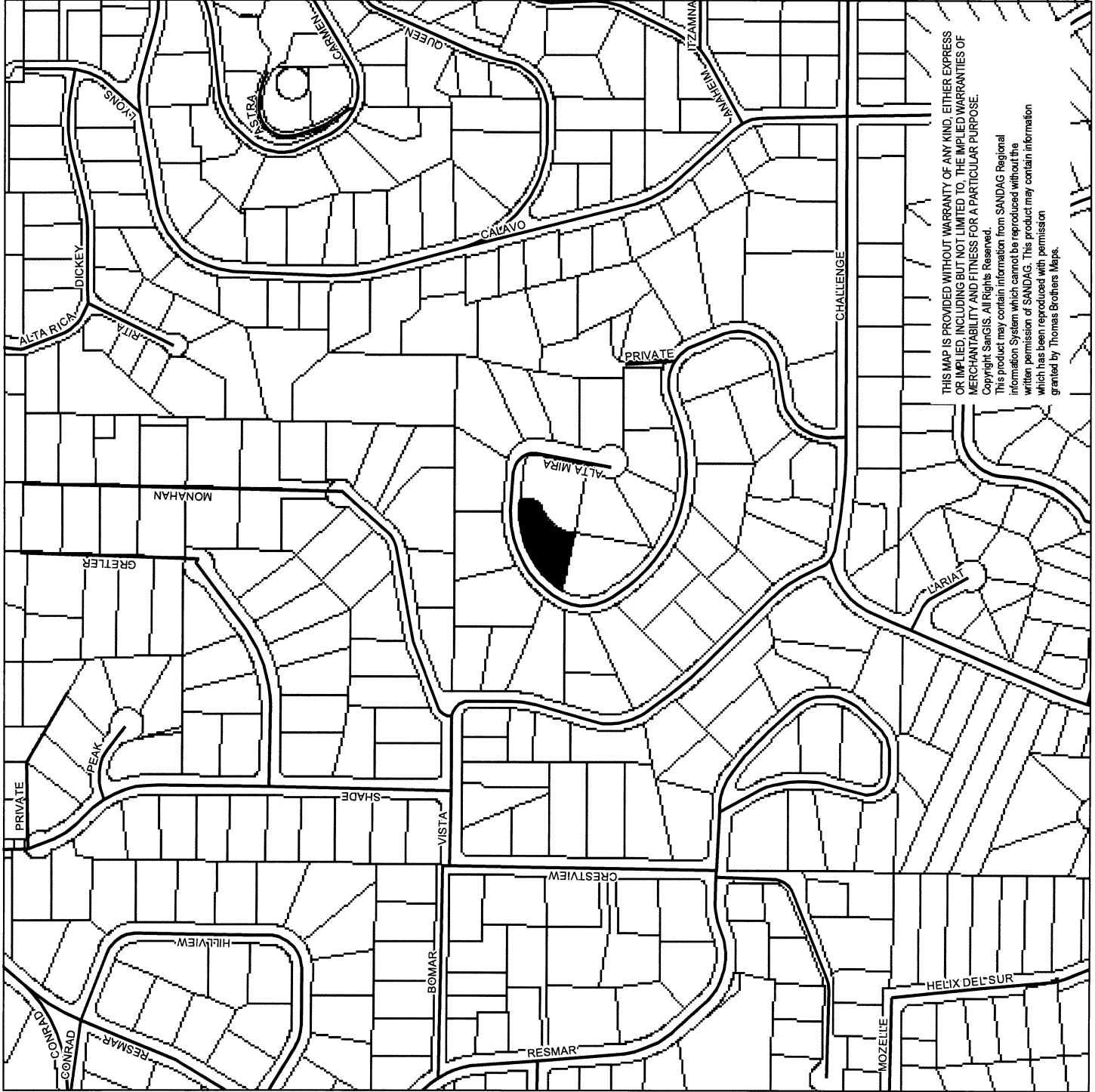
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## Legend

- Site
- Freeways
- Major Highways
- Roads
- Parcels

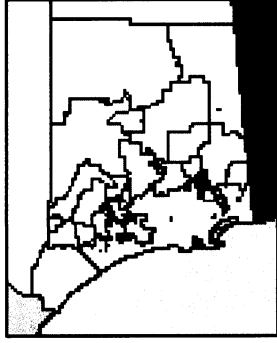


Date: 5/19/2008  
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# Mattar Residence P06-058 General Plan Map

APN: 501-041-23

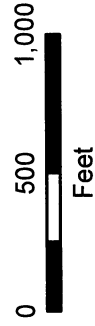


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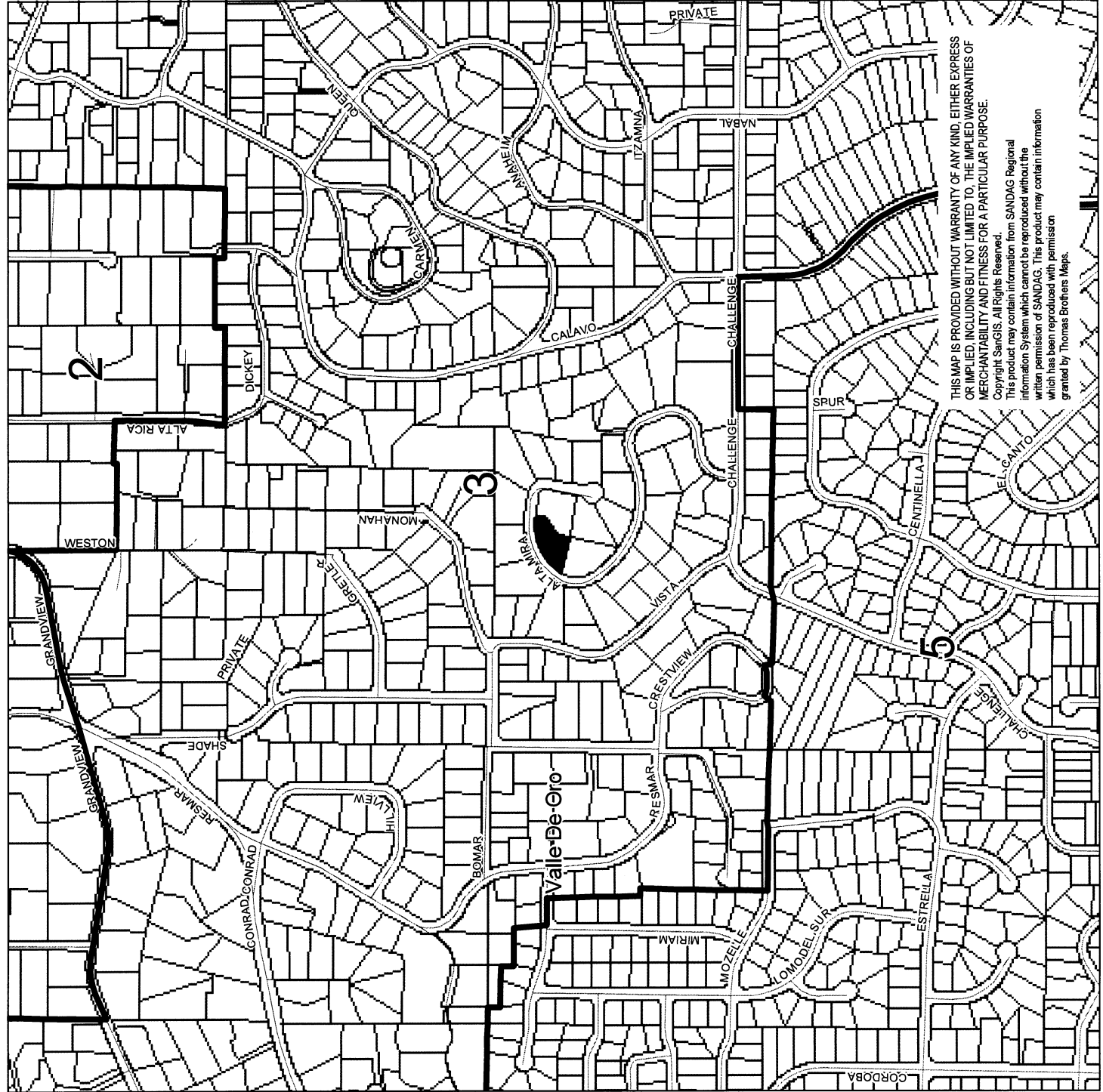
## Legend

- Site
- Community Planning Area
- Parcels
- GenPlan

General Plan Descriptions:  
2 - RESIDENTIAL 1 DU/ACRE  
3 - RESIDENTIAL 2 DU/ACRE  
5 - RESIDENTIAL 4.3 DU/ACRE



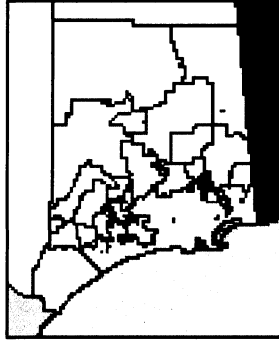
Date: 5/19/2008  
K:\regulatory\MattarResidence\Zoning.mxd



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# **Mattar Residence** **P06-058** APN: 501-041-23 **Zoning Map**



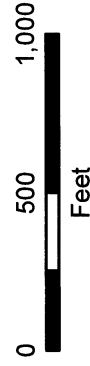
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## **Legend**

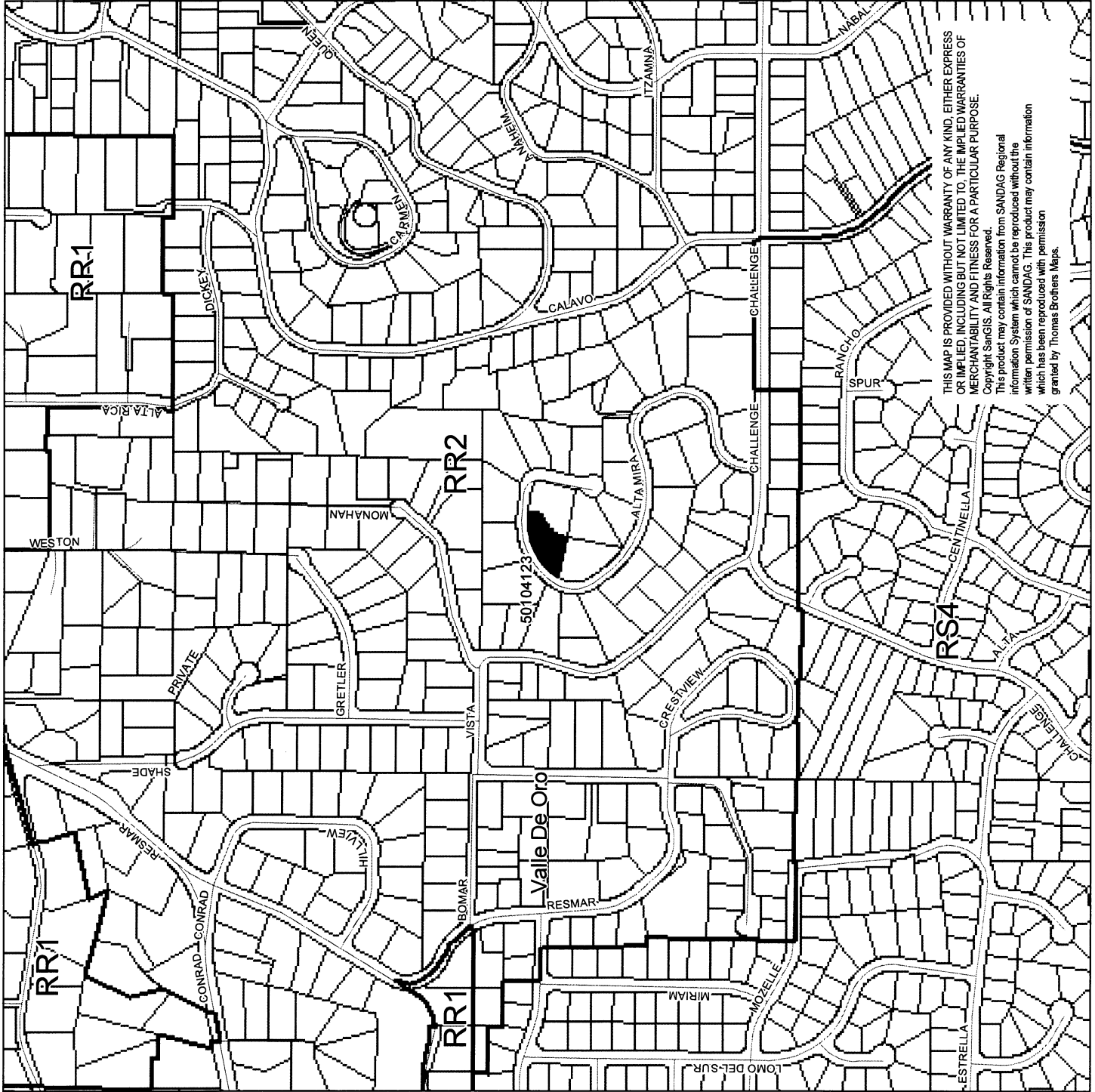
-  Site
-  Community Planning Area
-  Parcels
-  Zoning

## **Zoning Descriptions:**

- RR1 - RURAL RESIDENTIAL
- RR2 - RURAL RESIDENTIAL
- RS4 - RESIDENTIAL-SINGLE

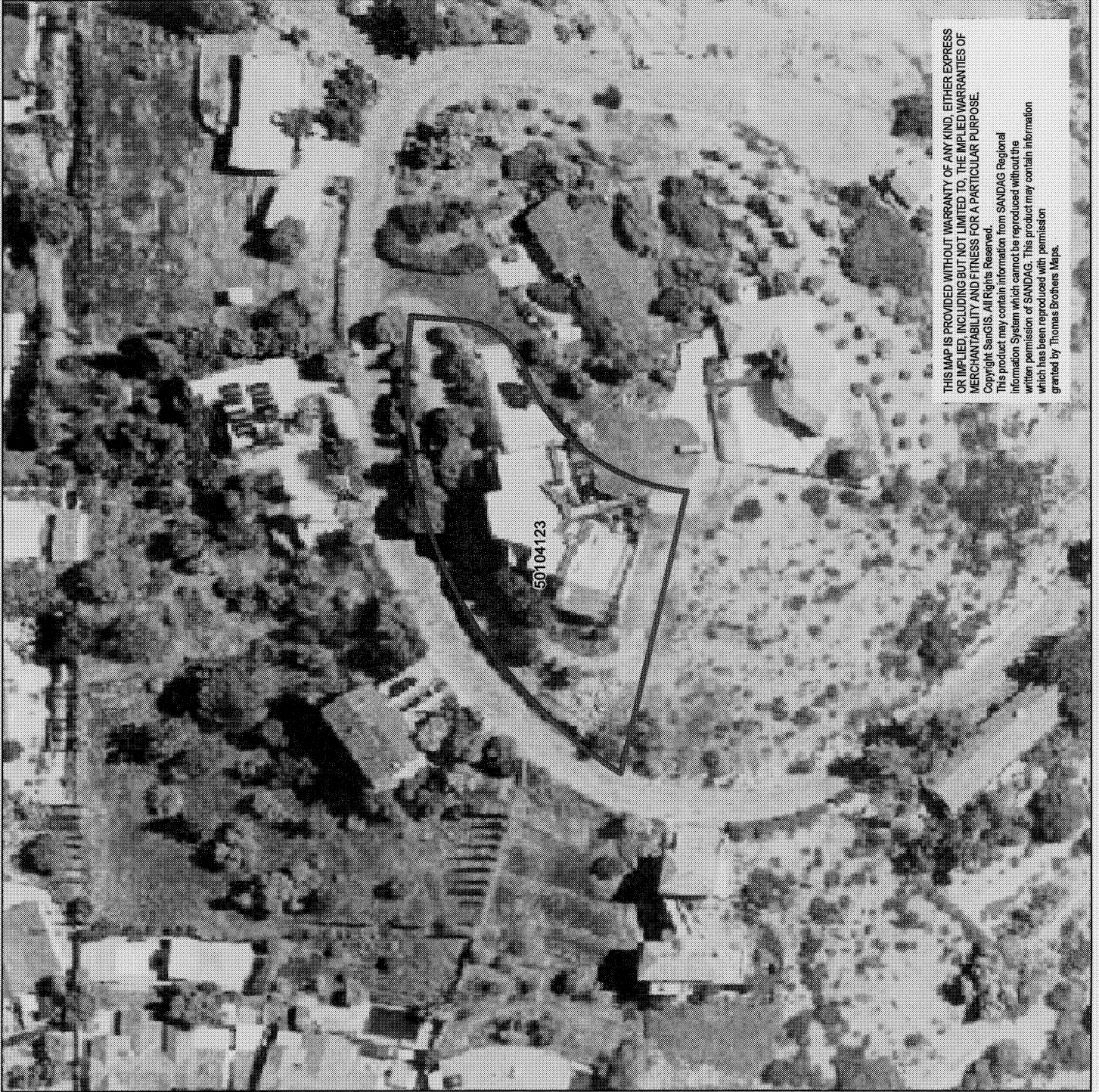


Date: 5/19/2008  
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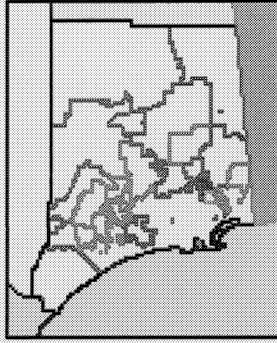


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**Mattar Residence  
P06-058  
APN: 501-041-23  
Aerial Map**



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1:3,500,000

**Legend**



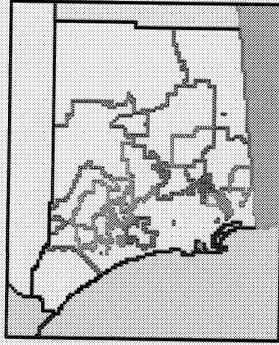
Aerial Photo - Flown 2006



Date: 5/19/2008  
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# **Mattar Residence P06-058** APN: 501-041-23 **Cell Site Map**



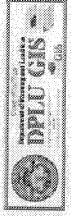
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## **Legend**

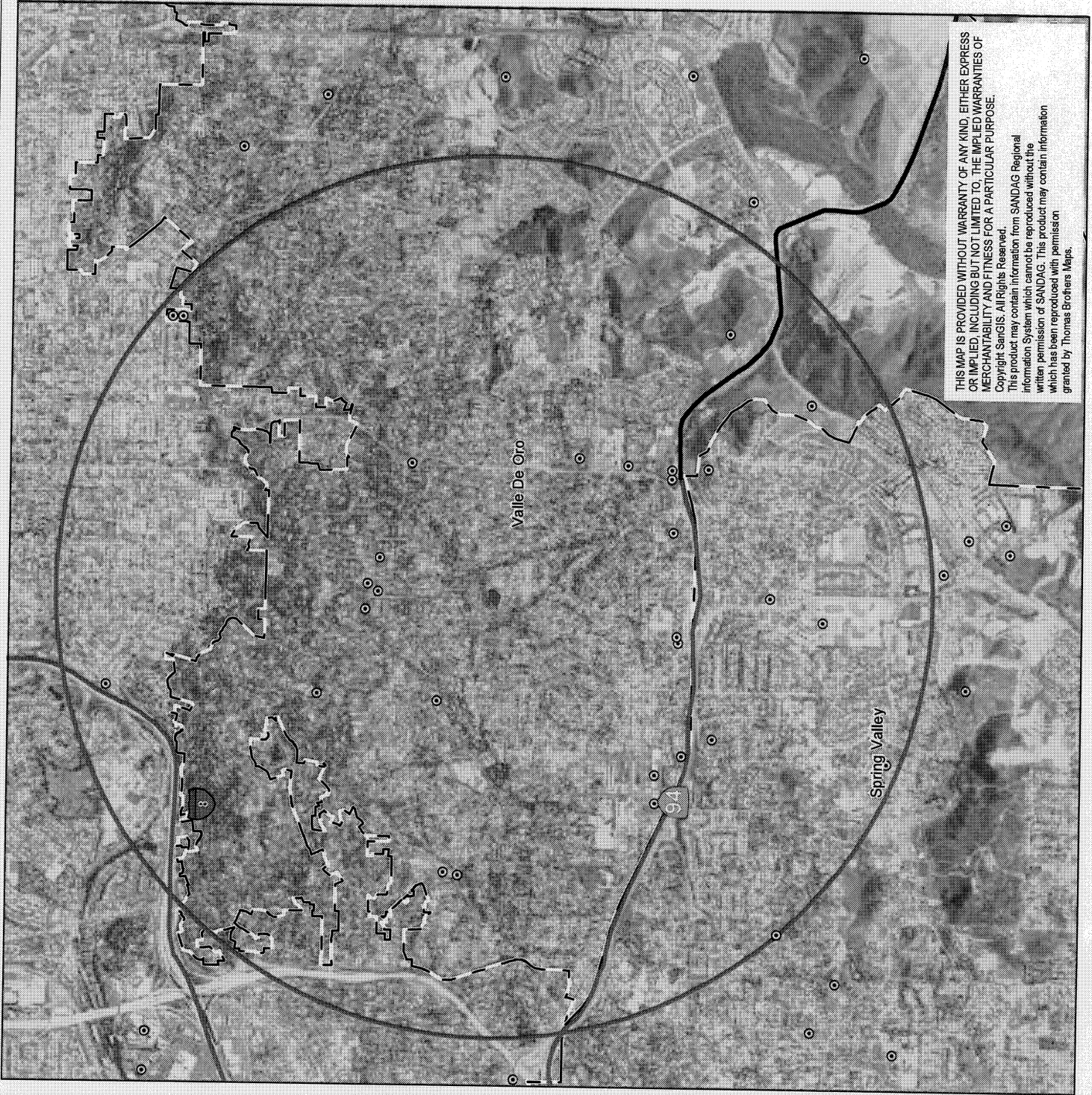
- Cell Sites
- 2 Mile Buffer Zone
- Site
- Freeways
- Major Highways
- Community Planning Area



0 2,000 4,000  
Feet



Date: 5/19/2008  
K:\regulatory\MattarResidence\CellSites.mxd









**TRUSNET**  
USA, INC.

6100 RIVINE CENTER DR., SUITE 600  
IRVINE, CA 92618 USA  
TEL: 949 365 0722  
FAX: 949 365 0072  
[WWW.TRUSNETUSA.COM](http://WWW.TRUSNETUSA.COM)

SUBMITTALS	
5	CITY COMMENTS
6	CITY COMMENTS
7	CITY COMMENTS
8	CITY COMMENTS
9	CITY COMMENTS
10	REVISION
11	100% 25%
12	90% 25%

**AAC SEAL**

**MATTAR PROPERTY**  
SITE  
**SD34XC865**  
4395 ALTA MIRA DR.  
LA MESA, CA 91941


**SHEET TITLE**  
**SITE PLAN**

A1

[illegible]



**Sprint**  
Together with NEXTEL  
5761 Coplay Drive, Suite 100  
San Diego, CA 92111  
Phone: (619) 650-4304 Fax: (619) 650-4202



**TRUSSNET  
USA INC.**

8105 IRVING CENTER DR. SUITE 800  
IRVING, CA 92618 USA  
TEL: 949 595 0222  
FAX: 949 595 0072  
[www.trussnet.com](http://www.trussnet.com)

PROJECT NO.	
TEAM NO.	JELLY & MAY
CHECKED BY	JOVI
NO. FILE	

5	07/11/00	CLIENT COMMENTS
5	12/19/07	CITY COMMENTS
4	12/03/07	CITY COMMENTS
3	05/02/07	CLIENT COMMENTS
2	03/21/07	REVISION
1	07/24/07	90% 21s
0	01/02/06	90% 21s

[illegible]

AME 2012

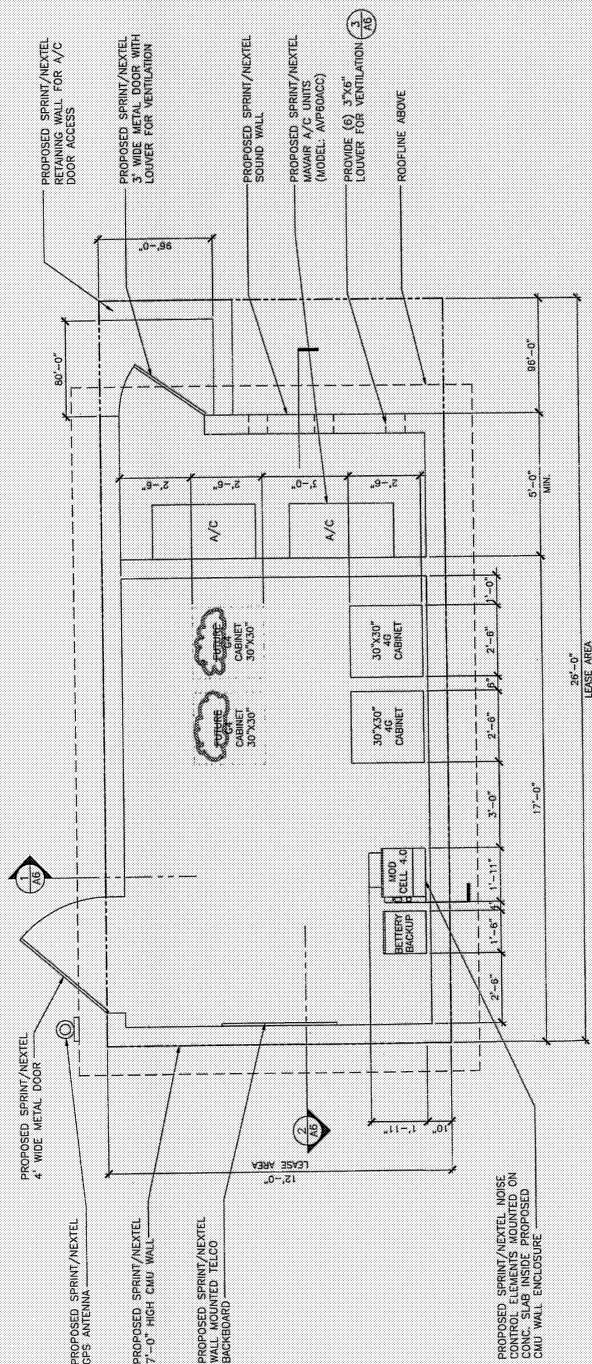
**MATTAR PROPERTY**  
SITE  
**SD34XC865**  
4395 ALTA MIRA DR.  
LA MESA, CA 91941

SHEET TITLE

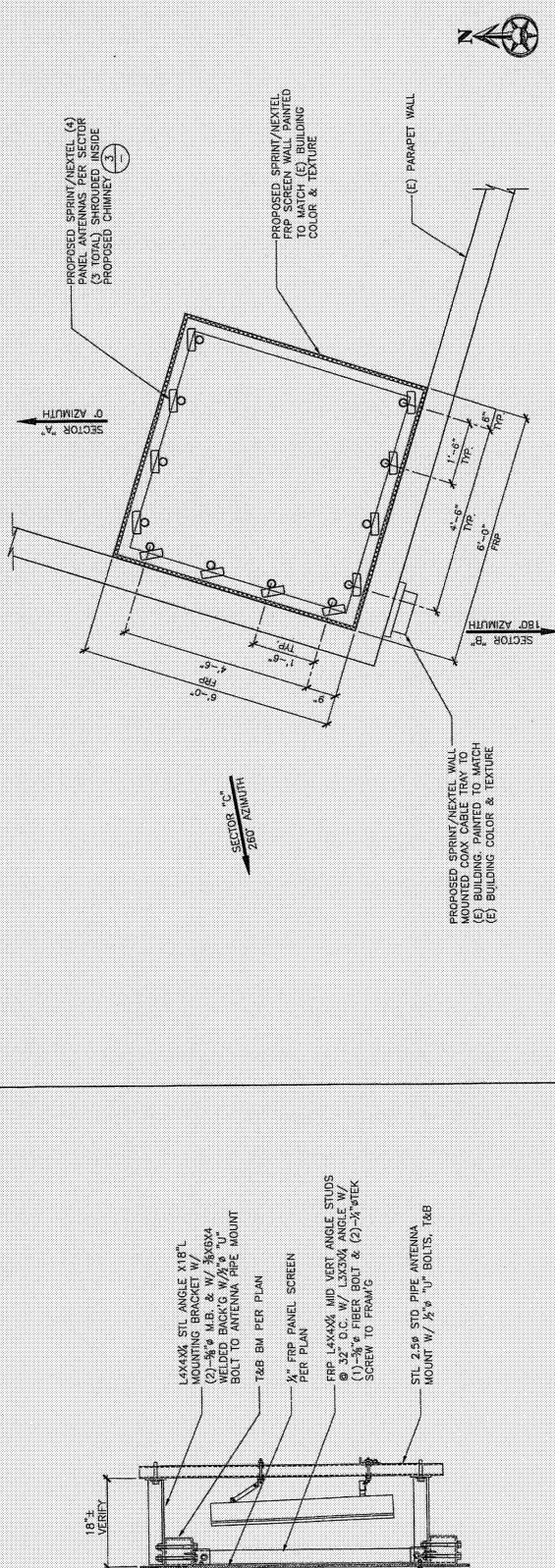
ANTENNA LAYOUT &  
EQUIP. LAYOUT

**SHEET HANGER**  
**A3**

NOTE:  
1. PROPOSED HVAC UNITS ARE CARRIER  
338TXA060 CONDENSER UNITS OR  
EQUIVALENT SIZED UNITS WITH A SINGLE  
UNIT SOUND POWER LEVEL OF 76.5 Db(a)



## EQUIPMENT PLAN



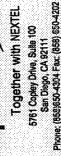
## ANTENNA MOUNT DETAIL

## ANTENNA LAYOUT

SCALE
$3/4" = 1'-0"$







PROJECT NO.	
OWN BY	JELLY & MAY
BOOKED BY	JUVI
DATE	

SUBMITTALS	
01/11/09	CLIENT COMMENTS
12/19/07	CITY COMMENTS
12/03/07	CITY COMMENTS
09/05/07	CLIENT COMMENTS
06/11/07	REVISION
07/24/07	100% 22s
11/02/06	90% 22s

[illegible]

AVE SEAL

**MATTAR PROPERTY**  
SD34XC865  
4395 ALTA MIRA DR.  
LA MESA, CA 91941

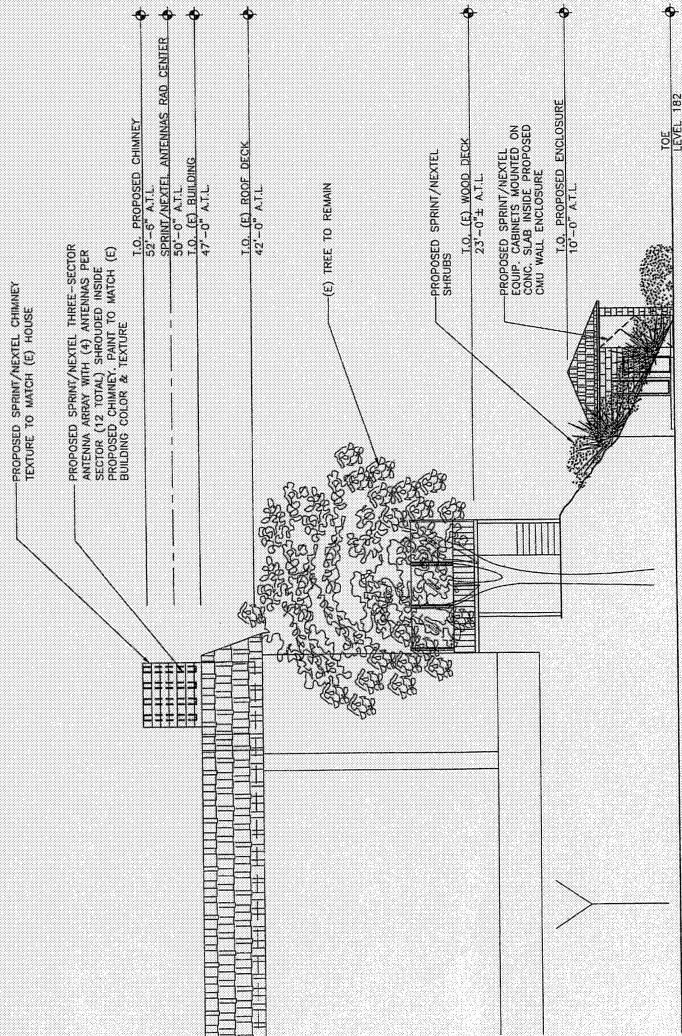
ELEVATION

**SHEET NUMBER**  
**A5**

NOTE:  
1. THE EQUIPMENT ENCLOSURE WILL BE STUCCOED AND PAINTED TO MATCH THE EXISTING RESIDENCE A WOOD LOOKING TILE SHINGLE ROOF.

NOTES

2. The access door to the equipment shelter will be painted to match the existing residence.
3. The access door will be designed to include relief and resemble a barn.



2

SCALE  
3/16" = 1'-0"

NORTH ELEVATION

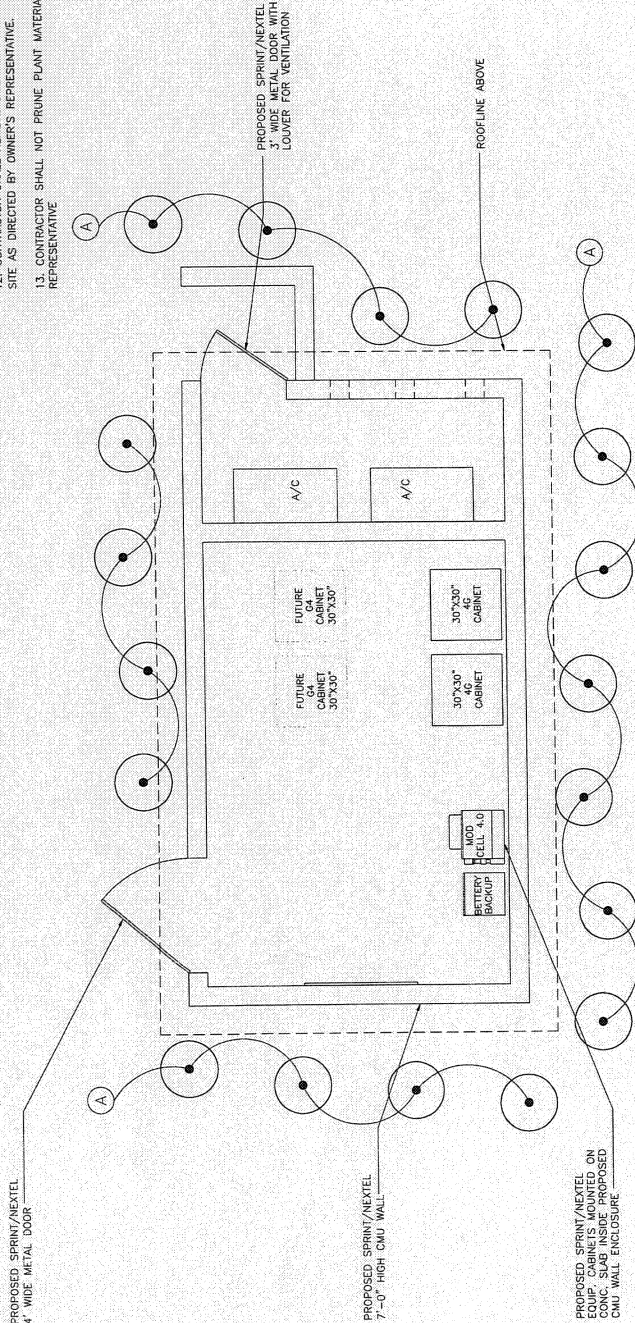
**NORTH ELEVATION**



**LANDSCAPE AND IRRIGATION NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION AS REQUIRED.
2. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IN THE EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING THE WORK.
3. CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF ALL SITE UTILITIES, WATER LINES, IRRIGATION LINES, TELECOMMUNICATION AND POWER RUNS PRIOR TO CONSTRUCTION, AND SHALL IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
4. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF INSPECTIONS AS REQUIRED BY LOCAL JURISDICTION.
5. CONTRACTOR SHALL REMOVE ALL ROCKS AND DEBRIS ONE INCH (1") IN DIAMETER IN ANY DIRECTION SHALL BE REMOVED FROM PLANTING AREAS AND SITE.
6. PLANT MATERIAL MUST BE SELECTED BY OWNER'S REPRESENTATIVE AS TO HEALTH, CONDITION, FORM OR DAMAGE PRIOR TO PLANTING.
7. PLANT TABLETS SHALL BE GRO-POWER PLANTING TABLETS 12-8-8 (212 MONTHS SLOW RELEASE FORMULA).
8. PROVIDE PLANT TABLETS PER MANUFACTURER'S RECOMMENDATION BY PLANT CONTAINER SIZE.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED THROUGH THE ESTABLISHMENT PERIOD OF 90 DAYS. ALL TREES AND SHRUBS SHALL BE ADDITIONALLY GUARANTEED FOR A PERIOD OF 365 DAYS (1 YEAR) BEGINNING FROM THE DATE OF FINAL ACCEPTANCE OF THE ESTABLISHMENT PERIOD. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANT MATERIAL DURING THE ESTABLISHMENT AND GUARANTEE PERIOD AS NECESSARY AND AS REQUIRED. ANY DISPUTES OVER THE REPLACEMENT OF DEAD OR DYING PLANT MATERIAL SHALL BE AT THE SOLE DISCRETION OF THE OWNER'S REPRESENTATIVE.
10. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL AREAS TO BE FREE AND CLEAR OF ALL WEEDS AND DEBRIS THROUGHOUT THE MAINTENANCE PERIOD.
11. CONTRACTOR SHALL REMOVE ALL UNDESIRABLE PLANT MATERIALS ON SITE AS SPECIFIED IN THE CITY OF SAN DIEGO LANDSCAPE TECHNICAL MANUAL SECTION 3.3-1.
12. CONTRACTOR SHALL REMOVE DISEASED AND DEAD PLANT MATERIAL FROM SITE AS DIRECTED BY OWNER'S REPRESENTATIVE.
13. CONTRACTOR SHALL NOT PRUNE PLANT MATERIALS WITHOUT DIRECTION FROM OWNER'S REPRESENTATIVE.

QUANTITY	QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
A	19	SHRUBS 	 Living with Japanese Redwood	TEXAS JAPANESE PRIVET	15. GAL	4' O.C.
1. MULCH: MULCH ALL WATERING BASINS WITH 2" OF 3/4" REDWOOD MULCH OR SIMILAR MULCH						



**LANDSCAPE PLAN**

Together with NEXTEL  
5750 Camino del Rio South  
San Diego, CA 92108  
Phone: (619) 594-4304 Fax: (619) 594-4282

**TRUSSNET USA INC.**  
BIOLOGICAL SERVICE GROUP  
11111 JACOBO DRIVE  
SAN DIEGO, CA 92121  
TEL: 619 594 4304  
FAX: 619 594 4282  
WWW.TRUSSNETUSA.COM

PROJECT NO. \_\_\_\_\_

DATE BY: JELLY & MAY

DESIGNED BY: JDM

DATE FILED: \_\_\_\_\_

**SUBMITTALS**

1	REVISED	CLIENT COMMENTS
2	REVISED	CLIENT COMMENTS
3	REVISED	CLIENT COMMENTS
4	REVISED	CLIENT COMMENTS
5	REVISED	CLIENT COMMENTS
6	REVISED	CLIENT COMMENTS
7	REVISED	CLIENT COMMENTS
8	REVISED	CLIENT COMMENTS
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17	REVISED	CLIENT COMMENTS
18	REVISED	CLIENT COMMENTS
19	REVISED	CLIENT COMMENTS
20	REVISED	CLIENT COMMENTS
21	REVISED	CLIENT COMMENTS

ARE: 5'x11'

**MATTAR PROPERTY**  
SD34XC865  
4395 ALTA MIRA DR.  
LA MESA, CA 91941

**LANDSCAPE PLAN**

**LS1**



# Attachment B

## Form of Decision Approving P06-058



SAN    DIEGO    COUNTY    PLANNING    COMMISSION

5201 Ruffin Road

San Diego, CA 92123

June 27, 2008

Decision of the Planning Commission  
On the Application of Major Use Permit  
Number P06-058

GRANT, as per red-lined plot plan and elevations dated February 22, 2008, consisting of nine sheets, as amended and approved concurrently herewith, a Major Use Permit, pursuant to Section 6985, 6986, and 7358 of the Zoning Ordinance, to authorize the location and use of an unmanned wireless telecommunications. The facility includes a 5.5 foot tall faux chimney mounted with 15 panel antennas and placed on the existing single family residence as well as an associated equipment shelter to be placed at ground level. The equipment shelter will have a pitched roof and access doors and will be placed directly adjacent to the single family residence. The equipment shelter will be 12 feet wide by 26 feet long by a maximum of 10 feet in height. Pursuant to Section 6985A of the Zoning Ordinance, a Major Use Permit is required because the project site is located in an area zoned RR2 (Rural Residential), is not located on a high voltage transmission tower, and is not covered by a Wireless Community Master Plan.

CONDITIONS

The following conditions are imposed with the granting of this Major Use Permit:

Building permit plans must conform in detail to this approved design. Failure to conform can cause delay to or denial of building permits and require formal amendment of this approved design. No waiver of the Uniform Building Code standards or any other code or ordinance is intended or implied.

- A. Prior to obtaining any building or other permit pursuant to this Major Use Permit, and prior to commencement of construction or use of the property in reliance on this Major Use Permit, the applicant shall:
1. Pay off all existing deficit accounts associated with processing this application to the satisfaction of the Department of Planning and Land Use and the Department of Public Works.
  2. Pay the Transportation Impact Fee (TIF) in accordance with County Ordinance in effect.

3. Obtain a Construction Permit for any work within the County road Right-of-Way (ROW). DPW Construction/Road Right-of-Way Permits Services Section should be contacted at (858) 694-3275 to coordinate departmental requirements. Also, before trimming, removing or planting trees or shrubs in the County road right-of-way, the applicant must first obtain a permit to remove, plant, or trim shrubs or trees from the Permit Services Section.
  4. Provide evidence that vehicular access to the project site is approved to the satisfaction of the San Miguel Fire District and the Director of Public Works.
  5. Obtain a grading permit, required prior to commencing grading activities, per criteria of Section 87.201 of the County Grading Ordinance.
  6. Authorize DPW Lighting District to transfer the subject property into Zone A of the San Diego County Street Lighting District without notice or hearing, and pay the cost to process such transfer by making a deposit at DPW Land Development Counter Services.
  7. Furnish the Director of Planning and Land Use, along with their request for final inspection, a letter from the Director of Public Works, stating Conditions A-1 through A-6 have been completed to the Department's satisfaction.
  8. Submit evidence to the satisfaction of the Director of Planning and Land Use (Building Division) that all "Prior to Use or Occupancy" conditions B.1 through B.3 of this Major Use Permit have been printed on a separate sheet of all building plans associated with this Major Use Permit: [DPLU, FEE]
    - a. The conditions shall be printed on a separate sheet of the building plans.
    - b. The Directors of Public Works or Planning and Land Use may waive this condition to allow the issuance of a grading permit. The requirement shall be met before the issuance of any building permit.
- B. Prior to any occupancy or use of the premises pursuant to this Major Use Permit, the applicant shall:
1. Have a Registered civil engineer, a registered traffic engineer, or Licensed Land Surveyor provide a certified signed statement that physically, there is a minimum unobstructed sight distance in both directions per Section

6.1E of County Public Road Standards (approved July 14, 1999) along Alta Mira Drive from the project site driveway, for prevailing operating speed of traffic Alta Mira Drive. The Engineer or Surveyor shall further certify that the sight distance of adjacent driveways and street openings will not be adversely affected by the project. The above shall be to the satisfaction of the Director of Public Works.

2. Submit to the satisfaction of the Director of the Department of Planning and Land Use for inclusion in the case file P06-058, digital photos demonstrating that the specified HVAC units have been installed including serial numbers or identification plates for each unit at the completed installation. A second set of photographs shall be provided to the project's construction manager.
3. Furnish the Director of Planning and Land Use, along with their request for final inspection, a letter from the Director of Public Works, stating Condition B.1 has been completed to that Departments satisfaction.
4. The permittee shall pay the Major Use Permit Compliance Inspection Fee as specified in the DPLU Fee Ordinance at Section 362 of the San Diego County Administrative Code. The fee shall be paid at the DPLU Zoning Counter. The permittee shall also schedule an appointment for an initial inspection with the County Permit Compliance Coordinator to review the on-going conditions associated with this permit. The inspection should be scheduled for a date approximately six months subsequent to establishing occupancy or use of the premises.
5. Provide to the Director of Planning and Land Use photographic evidence demonstrating that the equipment enclosure has been covered in stucco, textured, and painted to match the existing residence. The photographic evidence should also demonstrate that the access doors to the equipment shelter have been painted to match the existing residence and designed to include relief and resemble a barn or shed door.

C. The following conditions shall apply during the term of the Major Use Permit:

1. Maintain the appearance of the equipment shelter pursuant to the plot plans on file with the Department of Planning and Land Use under project number P06-058, ER# 06-14-030.
2. The applicant shall allow the County to inspect the property for which the Major Use Permit has been granted, at least once every twelve months, to determine if the applicant is complying with all terms and conditions of the Major Use Permit. If the County determines the applicant is not complying



with the Major Use Permit terms and conditions the applicant shall allow the County to conduct follow up inspections more frequently than once every twelve months until the County determines the applicant is in compliance.

3. All light fixtures shall be designed and adjusted to reflect light downward, away from any road or street, and away from adjoining premises, and shall otherwise conform to Section 6324 of The Zoning Ordinance.
4. No loudspeaker or sound amplification system shall be used to produce sounds in violation of the County Noise Ordinance (except for an electric bell or chime system which may be sounded between 9:00 a.m. and sunset one day per week and on religious holidays for churches only).
5. The parking areas and driveways shall be well maintained.
6. All landscaping shall be adequately watered and well maintained at all times.
7. Property owners shall agree to preserve and save harmless the County of San Diego and each officer and employee thereof from any liability or responsibility for any accident, loss, or damage to persons or property happening or occurring as the proximate result of any of the work undertaken to complete this work, and that all of said liabilities are hereby assumed by the property owner.
8. The applicant shall maintain the appearance of the facility and associated equipment shelter, as depicted in photo simulations in file P06-058, for the duration of the facility's operation.
9. All graffiti on any components of the facility shall be removed promptly in accordance with County regulations. Graffiti on any facility in the public right-of-way must be removed within 48 hours of notification.
10. All wireless telecommunications sites shall be kept clean and free of litter.
11. All equipment cabinets shall display a legible operator's contact number for reporting maintenance problems.
12. All wireless carriers who intend to abandon or discontinue the use of any wireless telecommunications facility shall notify the County of such intention no less than 60 days prior to the final day of use.

13. Wireless telecommunications facilities with use discontinued shall be considered abandoned 90 days following the final day of use.
14. All abandoned facilities shall be physically removed by the facility owner no more than 90 days following the final day of use or determination that the facility has been abandoned, whichever occurs first.
15. The County reserves the right to remove any facilities that are abandoned for more than 90 days at the expense of the facility owner.
16. Any abandoned site shall be restored to its natural or former condition. Grading and landscaping in good condition may remain.
17. Noise from any equipment supporting the facility shall meet the requirements of the County's Noise Ordinance on an average hourly basis.
18. Equipment cabinets and antenna structures shall be secured to prohibit unauthorized access.
19. The access door to the equipment shelter will be painted to match the existing on-site residence.
20. The outside of the equipment shelter will be covered with stucco and painted and textured to match the existing on-site residence.
21. Comply with all applicable stormwater regulations at all times. The activities proposed under this application are subject to enforcement under permits from the San Diego Regional Water Quality Control Board (RWQCB) and the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance (Ordinance No. 9424 and Ordinance No. 9426) and all other applicable ordinances and standards. This includes requirements for materials and wastes control, erosion control, and sediment control on the project site. Projects that involve areas greater than 1 acre require that the property owner keep additional and updated information onsite concerning stormwater runoff. This requirement shall be to the satisfaction of the Director of Public Works.
22. The project shall conform to the approved plot plan(s). Failure to conform to the approved plot plan(s); is an unlawful use of the land, and will result in enforcement action pursuant to Zoning Ordinance Section 7703.

P06-058; ER# 06-14-030

- 6 -

June 27, 2008

- D. This Major Use Permit shall expire on June 27, 2010, at 4:00 p.m. (or such longer period as may be approved pursuant to Section 7376 of The Zoning Ordinance of the County of San Diego prior to said expiration date) unless construction or use in reliance on this Major Use Permit has commenced prior to said expiration date.

**FINDINGS:****CEQA FINDINGS**

It is hereby found that the proposed project is exempt from the California Environmental Quality Act as specified under Section 15303 of the State CEQA Guidelines for the reasons detailed in the Notice of Exemption Form dated June 27, 2008, on file with DPLU as Environmental Review Number 06-14-030.

**MSCP FINDINGS**

The Multiple Species Conservation Planning Conformance Findings dated June 5, 2008, on file with DPLU as Environmental Review Number 06-14-030 is hereby adopted.

**STORMWATER FINDINGS**

It is hereby found that the project proposed by the applicant has prepared plans and documentation demonstrating compliance with the provisions of the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance.

**RESOURCE PROTECTION ORDINANCE FINDINGS**

It is hereby found that the use or development permitted by the application is consistent with the provisions of the Resource Protection Ordinance.

**MAJOR USE PERMIT FINDINGS**

Pursuant to Section 7358 (see Section 7359 for findings required for permits filed pursuant to Regional Land Use Element 3.8) of The Zoning Ordinance, the following findings in support of the granting of the Major Use Permit are made:

- (a) The location, size, design, and operating characteristics of the proposed use will be compatible with adjacent uses, residents, buildings, or structures with consideration given to
1. Harmony in scale, bulk, coverage, and density

The project is a Major Use Permit for the construction and operation of an unmanned wireless telecommunications facility that will consist of a 5.5 foot tall faux chimney to which 15 panel antennas will be mounted placed on an existing single family residence. Associated equipment includes five equipment cabinets, one GPS antenna, and a back up battery that will be located within a CMU block equipment shelter (12 feet wide by 26 feet long by 10 feet high). The equipment shelter will be located directly northwest of the existing single family residence. The facility will be located 25.75 feet from the southwestern property line.

The project site is 0.58 acres in size and developed with a single family residence. The area in which the project site is located can be categorized as urban/developed. The project is compatible with the surrounding area which is comprised of residential land uses because the project, as designed is stealth, and will blend into the project site with minimal effects to the surrounding area.

Scale and Bulk: The subject parcel is developed with an existing single family residence. The proposed unmanned wireless telecommunications facility includes a 5.5 foot tall faux chimney and associated 10 foot tall equipment shelter, both of which are consistent with the height requirement of the Zoning Ordinance. The associated equipment will consist of five equipment cabinets, one GPS antenna, and a back up battery.

Photo simulations on file with Major Use Permit P06-058 (Attachment C) illustrate that the proposed faux chimney and associated equipment shelter with pitched roof are unobtrusive to the surrounding viewshed. The view from the surrounding area will be minimized because the project is designed to be stealth (the faux chimney will be mounted to an existing single family residence and the equipment shelter will be designed to be stylistically similar to an accessory building) and will blend into the surrounding vegetation and topography. The equipment will be surrounded by a 10 foot tall CMU block shelter that will screen the equipment from view. Surrounding land uses include residential with a handful of open vacant parcels. Property to the north and east supports residential development and property to the south is vacant. The project is compatible with adjacent uses in terms of scale and bulk because of the stealth design, the existence of other vertical elements (single family residences, mature trees, and telephone poles), and the location of the facility. Therefore, the project will not result in any adverse project or cumulative level effect on visual character or quality on-site or to the surrounding area.



Coverage: The subject parcel is 0.58 acres in size. Surrounding land uses consist of predominately residential land uses with parcel sizes ranging from approximately 0.5 to over 2.3 acres in size. The project is located on a parcel that is developed with a single family residence. The lease area for this unmanned wireless telecommunications facility will total 312 square feet (less than 1% lot coverage). Due to the small scale of the facility, the project will not contribute significantly to the existing site coverage, nor will it substantially increase the scale and bulk of the existing structures. As such, the addition of the telecommunications facility will maintain similar coverage with surrounding parcels. Considering the size of the subject lot compared with the size and location of the proposed structure, the size of the existing structures on the property, and the coverage characteristics of surrounding properties, the addition of the telecommunications facility will be consistent in terms of coverage of the surrounding area and will not substantially increase the lot area coverage.

Density: The project is a Major Use Permit for the authorization of a telecommunications facility and does not have a residential component subject to density.

2. The availability of public facilities, services, and utilities

The project is located within San Miguel the Fire Protection District. The San Miguel Fire Protection District has certified availability of fire protection. In addition, the project has been reviewed and found to be FP-2 compliant. The proposed landscaping will require small amounts of watering. The Helix Water District has certified availability of water service for the subject parcel. Electrical and telephone services are available on-site. All required utilities are therefore available for the project.

3. The harmful effect, if any, upon desirable neighborhood character

The project is a Major Use Permit for the authorization of a wireless telecommunications facility. The facility will include a 5.5 foot tall faux chimney to which 15 panel antennas will be attached. An associated equipment shelter will house five equipment cabinets, one GPS antenna, and a back up battery. The project site is located within a neighborhood that is predominately developed with residential land uses surrounding the project site.

The project will not adversely affect the desirable neighborhood character because the project proposes a wireless telecommunications facility that

is designed to be stealth. The equipment shelter will be located within a CMU enclosure to conceal it from the surrounding properties. Photo simulations on file with Major Use Permit P06-058 (Attachment C) illustrate that the line, form, and color of the facility will be largely consistent with other elements that make up the visual setting of the area, such as the single family residences, mature trees, and telephone poles. The photo simulations demonstrate that the project is visually unobtrusive to the surrounding viewshed. The addition of a faux chimney and an associated camouflaged equipment shelter will not have a significant visual impact on the neighborhood character because the project as designed is stealth. Furthermore, the project was reviewed for noise impacts and determined to be consistent with the County Noise Ordinance. The project, as designed, will not cause any substantial, demonstrable negative aesthetic effect to views from the surrounding area and roadways. Therefore, the project will not have a harmful effect on the neighborhood character.

4. The generation of traffic and the capacity and physical character of surrounding streets

The traffic generated from the project is expected to be one maintenance trip per month and will utilize Alta Mira Drive, a public road for access. Existing parking is available on the property. The use associated with this Major Use Permit is compatible with the existing urban/developed nature of the area because the number of maintenance trips will not substantially alter the expected traffic or physical character of the surrounding streets and will be compatible with adjacent uses. Therefore, the number of maintenance trips will not substantially increase or alter the physical character of Alta Mira Drive.

5. The suitability of the site for the type and intensity of use or development which is proposed

The project proposes a Major Use Permit for the authorization of an unmanned wireless telecommunications facility. The subject property is 0.58 acres in size and is developed with access and utility services adequate to serve the proposed use. The installation of the telecommunication facility will not require significant alteration to the land form. The project, as designed, will be stealth and will not change the characteristics of the area and is suitable for this site and the type and intensity of uses and development. For reasons stated above, the proposed project will be compatible with adjacent land uses.

6. Any other relevant impact of the proposed use

None identified.

- (b) The impacts, as described in Findings (a) above, and the location of the proposed use will be consistent with the San Diego County General Plan.

The project is subject to the Regional Land Use Element Policy - Current Urban Development Area (CUDA), General Plan Land Use Designation General - (3) Residential, and the Valle De Oro Community Plan. The project complies with the General Plan because civic uses are allowed if they support the local population. In addition, the project is consistent with Policy 4 of the Public Safety Element of the County General Plan that encourages the support, establishment, and continual improvement of Countywide telephone communications system, particularly with respect to enhancing emergency communications.

- (c) That the requirements of the California Environmental Quality Act have been complied with.

Pursuant to Section 15303 of the State CEQA Guidelines, the project is exempt from CEQA because it is an unmanned wireless telecommunications facility that involves the installation of Small, New Equipment and Facilities in Small Structures. It has been determined that the project is not in an environmentally sensitive location; will not have a cumulative effect on the environment; is not on a hazardous waste site; will not cause substantial change in the significance of a historical resource; and will not result in damage to a scenic highway

### **WIRELESS TELECOMMUNICATIONS FINDINGS**

The location and zoning, as described in Section 6986B and 6986C of the Wireless Telecommunications Facilities Ordinance, has been determined to be preferable due to aesthetic and community character compatibility.

The project is a non-preferred location in a non-preferred zone. Pursuant to Section 6986B of the Wireless Telecommunication Facilities Ordinance, the applicant provided an alternate site analysis and discussed preferred locations in the area and why they were not technologically or legally feasible. Due to the camouflaging of the facility and the lack of preferred zones in the surrounding area, the proposed project has been determined to be preferable due to its aesthetic and community character compatibility.

### **NOTICES:**

**NOTICE:** The 90 day period in which the applicant may file a protest of the fees, dedications or exactions begins on June 27, 2008.

P06-058; ER# 06-14-030

- 11 -

June 27, 2008

**NOTICE:** THE ISSUANCE OF THIS PERMIT BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

AM;MT:lm



# Attachment C

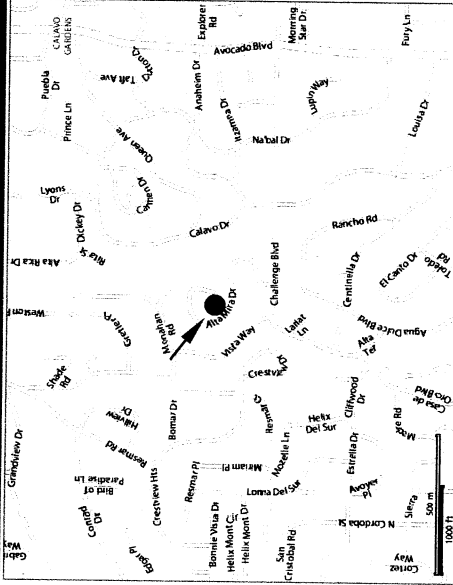
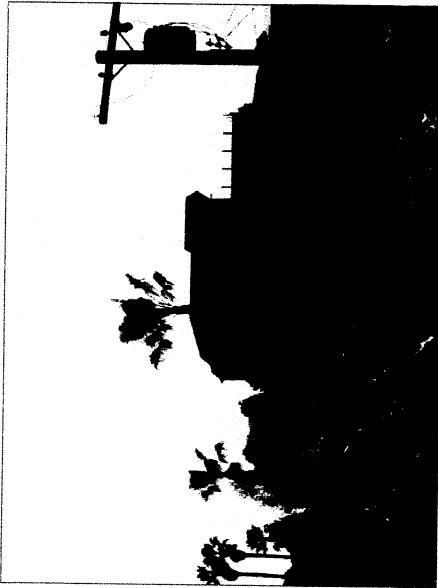
Photo Simulations and  
Alternate Site Analysis

SD34XC865 MATTAR PROPERTY

4395 ALTA MIRA DR.  
LA MESA, CA 91941

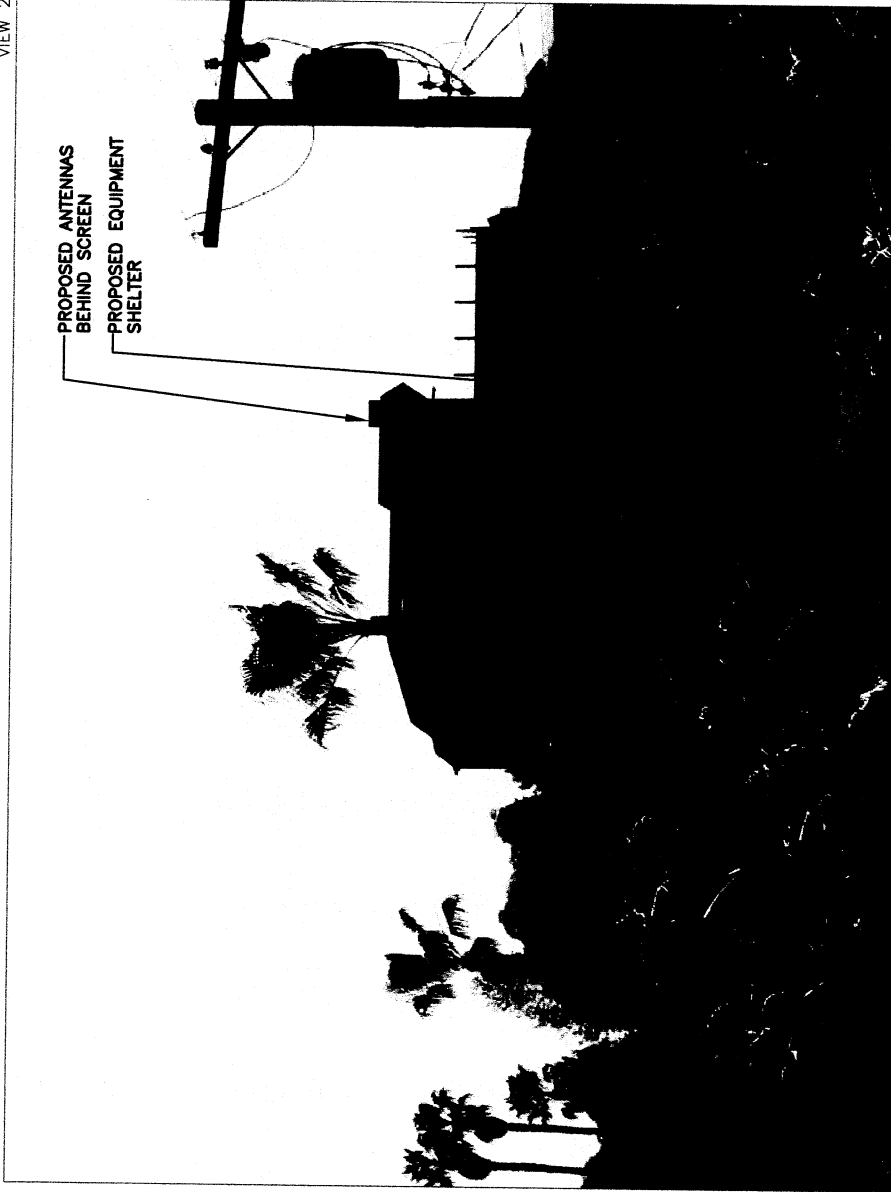


EXISTING

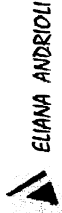


SITE LOCATION

VIEW 2



PROPOSED - NORTHEAST VIEW



architectural services  
landscape architecture  
interior design



Together with NEXTEL

2 - 37

Sprint Nextel  
5761 Copley Drive, Suite# 100  
San Diego, CA 92111

April 9, 2008

Merry Tondro  
County of San Diego  
Department of Planning and Land Use  
5201 Ruffin Road  
San Diego CA 92123

APR 10 2008  
10:00

RE: Alternative Site Analysis P06-058 Mattar

Dear Ms. Tondro:

In response to your letter dated March 27, 2008, please find the following response to your inquiry re: collocating at the below approved cell sites within a 2 mile radius surrounding the proposed location for P06-058 Mattar at 4395 Alta Mira Drive.

- ZAP 01-094 APN: 496-242-33-00
- ZAP 06-003 APN: 497-113-31-00
- S 04-031 APN: 497-113-31-00
- S 03-067 APN: 496-150-02-00
- ZAP 04-023 APN: 500-261-44-00
- ZAP 00-021 APN: 500-261-53-00
- P 63-046w1 APN: 501-254-20-00, 501-264-29-00
- ZAP 01-040 APN: 501-273-12-00
- ZAP 02-002 APN: 502-150-40-00
- ZAP 96-033w2 APN: 502-150-40-00

The Proposed site is required to provide Sprint Nextel coverage in the Casa de Oro community bounded roughly by Bomar Street to the northwest, Granada to the west, San Juan Street to the south and Calavo Drive to the east. Presently Sprint Nextel has a large service gap in this area, as illustrated in the attached existing coverage map. This site will provide coverage to the Casa de Oro community and will connect with other existing sites.

This site was selected due to it's height above the required coverage area. Due to the topography, the search area was very limited, essentially the area on the south side of the knoll that Alta Mira sits on. The coverage lays to the south, southwest and southeast of Alta Mira. Being that this is a hillside, anything located north of Alta Mira could no be considered. Please see attached google map.

I have mapped all the sites listed above on our existing sites map, refer to the attached. I believe several of the approved sites are actually Sprint sites. The following sites are located north of the proposed site and would be blocked by topography:

- ZAP 01-094 APN: 496-242-33-00

- ZAP 06-003 APN: 497-113-31-00
- S 04-031 APN: 497-113-31-00
- S 03-067 APN: 496-150-02-00

The following are located to the south, southwest and southeast of the proposed site. They are located too far away, and are too low to provide coverage to the gap area.

- ZAP 04-023 APN: 500-261-44-00
- ZAP 00-021 APN: 500-261-53-00
- P 63-046w1 APN: 501-254-20-00, 501-264-29-00
- ZAP 01-040 APN: 501-273-12-00
- ZAP 02-002 APN: 502-150-40-00
- ZAP 96-033w2 APN: 502-150-40-00

The site proposed has been designed to fill a service gap and to improve coverage. It has been designed to blend well within the community. Due to the topography, and coverage requirements Sprint Nextel was limited to select residential candidates in the vicinity of Alta Mira.

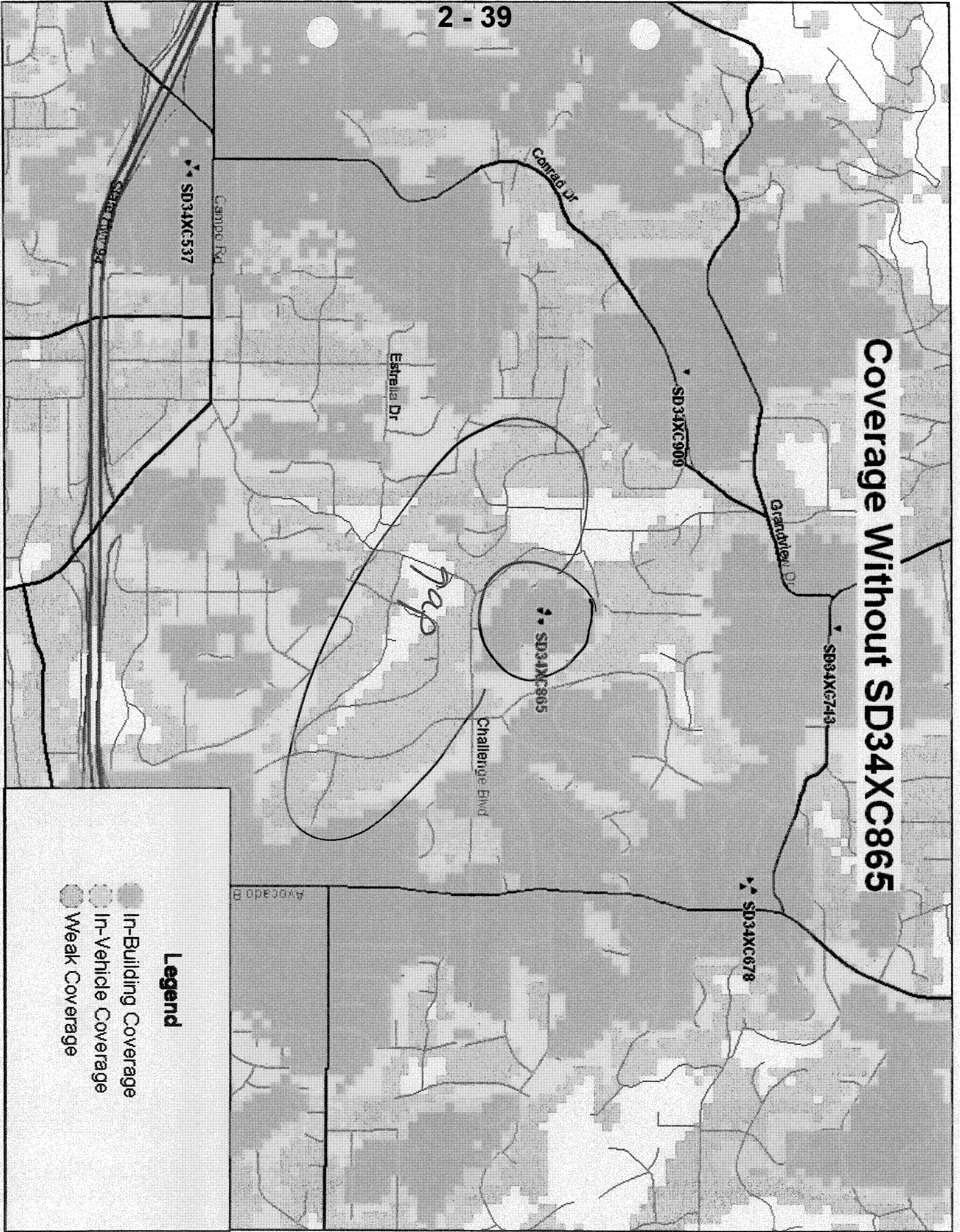
Please call me at 619-726-8110 with any questions.

Sincerely,



Debra DePratti Gardner

# Coverage Without SD34XC865

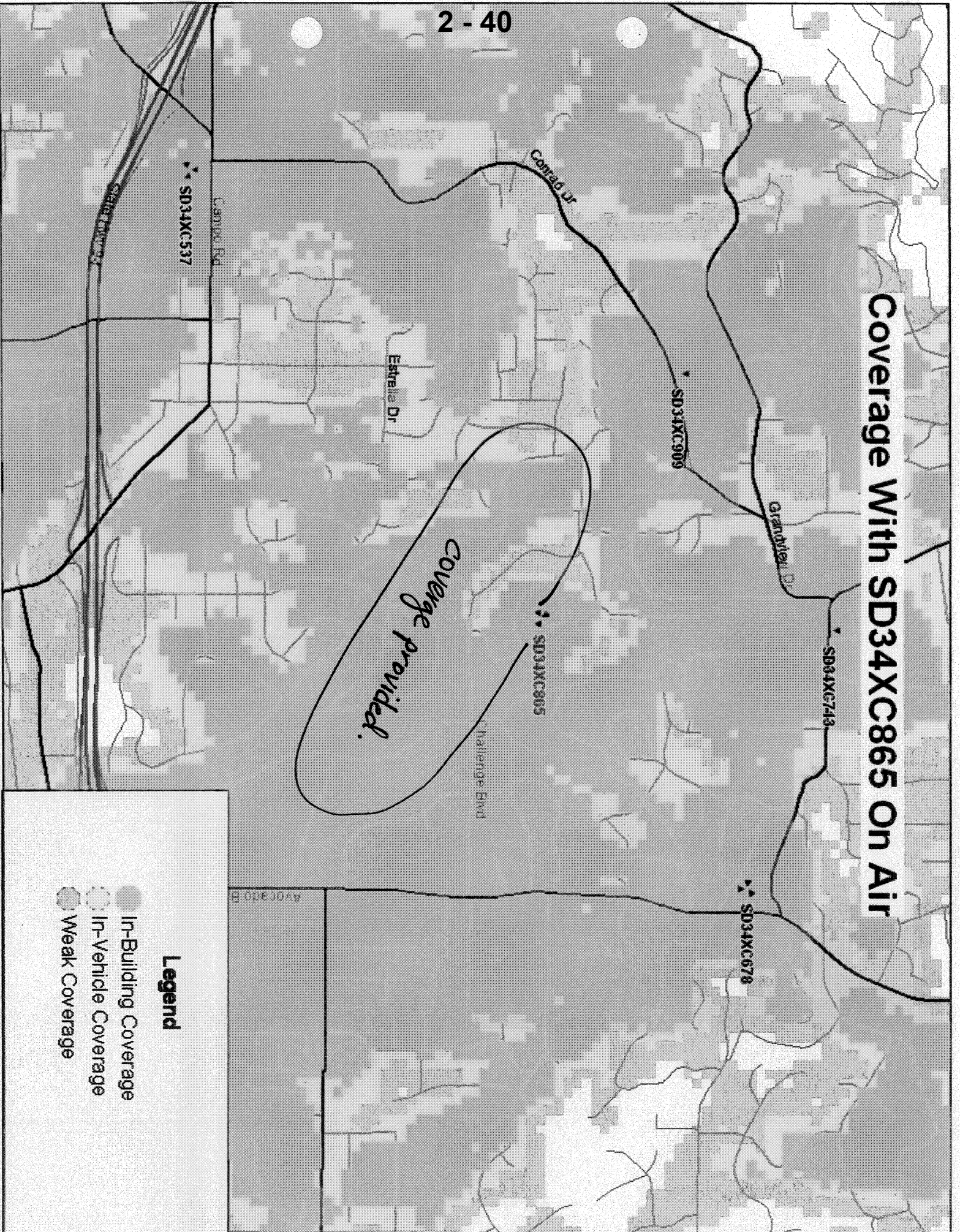


## Legend

- In-Building Coverage
- In-Vehicle Coverage
- Weak Coverage



# Coverage With SD34XC865 On Air

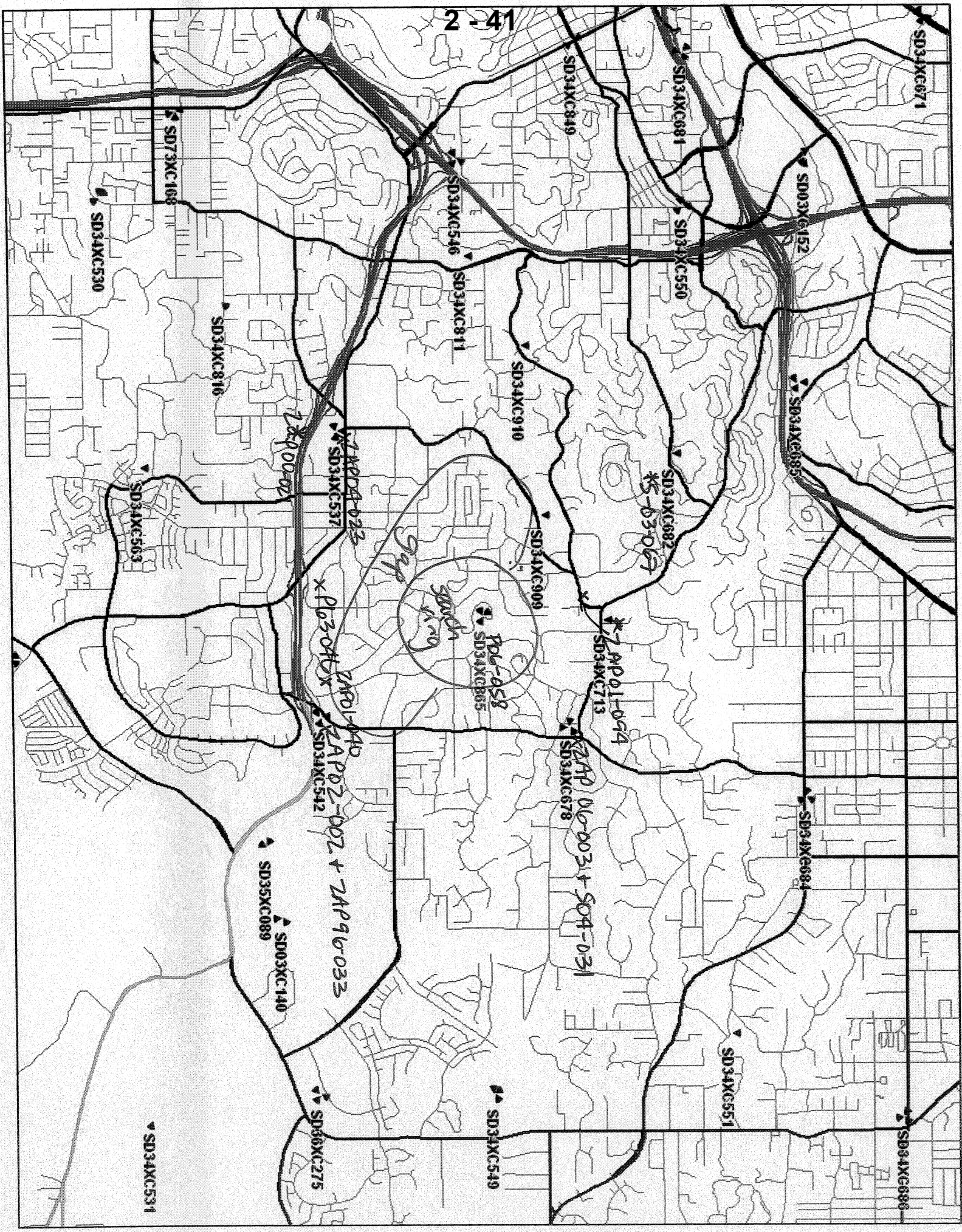


*Coverage provided.*

## Legend

- In-Building Coverage
- In-Vehicle Coverage
- Weak Coverage







4395 Alta Mira Dr. La Mesa, CA 91941

Spain 2008





P63-046

Mount Hells

803-067

ZAP01-094

P06-058

ZAP 06-003 & S04-031

ZAP01-0





8

125

Severin Drive

Murray Drive

Grossmont

Fuente Drive

Vivera Dr, La Mesa, CA 91941

S03-067

Lemon Avenue

West Chase Avenue

East Chase Avenue

Crystal Drive

Prilla Road

Crystal Drive

Wood Street

Fletcher Drive 10545 Grandview Dr, La Mesa, CA 91941

ZAP01-094

Logan Street

Mountain Hellx

91941

Conrad Drive

Shade Road

4395 Alta Mira Dr, La Mesa, CA 91941

P06-058

Camino Paz

Estrella Drive

Challenge Boulevard

Avocado Boulevard

Carpena Lane

Kate's Way

Felix Lane

Damon Lane

55 Campo Rd, Spring Valley, CA 91977

ZAP04-023

Baile Lane

3686 El Canto Dr, Spring Valley, CA 91977

ZAP01-040

ZAP02-002 & ZAP96-033

9859 Dale Ave, Spring Valley, CA 91977

3607 Avocado Blvd, La Mesa, CA 91941

Olive Drive

Lamar Street

Boyle Street

Granada Avenue

Dell Rio Road

Don Price Road

# Attachment D

## Environmental Documentation

# NOTICE OF EXEMPTION ~~2-46~~

TO: Recorder/County Clerk  
Attn: Anthony J. Consul  
1600 Pacific Highway, M.S. A33  
San Diego, CA 92101

FROM: County of San Diego  
Department of Planning and Land Use, M.S. O650  
Attn: Regulatory Planning Division Section Secretary

SUBJECT: **FILING OF NOTICE OF EXEMPTION IN COMPLIANCE WITH PUBLIC RESOURCES CODE SECTION 21108 OR 21152**

Project Name: Mattar Residence Wireless Telecommunication Facility; P06-058; ER# 06-14-030

Project Location: 4395 Alta Mira Drive, La Mesa, CA 91941 (APN: 501-041-23)

Project Applicant: Sprint/Nextel, 5761 Copley Drive, Suite 100, San Diego, CA 92111 (619) 392-8137

Project Description: The project is a Major Use Permit to authorize the construction and operation of an unmanned wireless telecommunications facility. The facility will include a 5.5 foot tall faux chimney mounted with 15 panel antennas and placed on the existing single family residence as well as an associated equipment shelter to be placed at ground level. The equipment shelter will have a pitched roof and access doors and will be placed directly adjacent to the single family residence. The project is subject to the General Plan Regional Category of Current Urban Development Area (CUDA), Land Use Designation of (3) Residential, and is zoned RR2 (Rural Residential). Access will be via a private driveway connecting to Alta Mira Drive. Water will be imported from the Helix Water District.

Agency Approving Project: County of San Diego

County Contact Person: Merry Tondro Telephone: (858) 694-3716

Date Form Completed: June 27, 2008

This is to advise that the County of San Diego Planning Commission has approved the above described project on June 27, 2008, and found the project to be exempt from the CEQA under the following criteria:

Exempt status and applicable section of the CEQA ("C") and/or State CEQA Guidelines ("G"): (check only one)

- ☐ Declared Emergency [C 21080(b)(3); G 15269(a)]
- ☐ Emergency Project [C 21080(b)(4); G 15269(b)(c)]
- ☐ Statutory Exemption. C Section:
- ☒ Categorical Exemption. G Section: 15303
- ☐ G 15182 – Residential Projects Pursuant to a Specific Plan
- ☐ Activity is exempt from the CEQA because it is not a project as defined in Section 15378.
- ☐ G 15061(b)(3) - It can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment and the activity is not subject to the CEQA.

Statement of reasons why project is exempt: Pursuant to Section 15303 of the State California Environmental Quality Act Guidelines, the project is exempt from CEQA because it is an unmanned wireless telecommunications facility that involves the installation of Small, New Equipment and Facilities in Small Structures. It has been determined that the project is not in an environmentally sensitive location; will not have a cumulative effect on the environment; is not on a hazardous waste site; will not cause substantial change in the significance of a historical resource; and will not result in damage to a scenic highway.

The following is to be filled in only upon formal project approval by the appropriate County of San Diego decision-making body.

Signature: \_\_\_\_\_ Telephone: (858) 694-3716

Name (Print): Merry Tondro Title: Land Use/Environmental Planner

This Notice of Exemption has been signed and filed by the County of San Diego.

This notice must be filed with the Recorder/County Clerk as soon as possible after project approval by the decision-making body. The Recorder/County Clerk must post this notice within 24 hours of receipt and for a period of not less than 30 days. At the termination of the posting period, the Recorder/County Clerk must return this notice to the Department address listed above along with evidence of the posting period. The originating Department must then retain the returned notice for a period of not less than twelve months. Reference: CEQA Guidelines Section 15062.



## REVIEW FOR APPLICABILITY OF/COMPLIANCE WITH ORDINANCES/POLICIES

FOR PURPOSES OF CONSIDERATION OF  
Mattar Residence Wireless Telecommunication Facility,  
P06-058; ER# 06-14-030

June 27, 2008

**I. HABITAT LOSS PERMIT ORDINANCE** – Does the proposed project conform to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings?

YES  
☐

NO  
☐

NOT APPLICABLE/EXEMPT  
☒

Discussion:

The proposed project and any off-site improvements are located within the boundaries of the Multiple Species Conservation Program. Therefore, conformance to the Habitat Loss Permit/Coastal Sage Scrub Ordinance findings is not required.

**II. MSCP/BMO** - Does the proposed project conform to the Multiple Species Conservation Program and Biological Mitigation Ordinance?

YES  
☒

NO  
☐

NOT APPLICABLE/EXEMPT  
☐

Discussion:

The proposed project and any off-site improvements related to the proposed project are within the boundaries of the Multiple Species Conservation Program. The project conforms with the Multiple Species Conservation Program and the Biological Mitigation Ordinance as discussed in the MSCP Findings dated June 5, 2008.

**III. GROUNDWATER ORDINANCE** - Does the project comply with the requirements of the San Diego County Groundwater Ordinance?

YES  
☐

NO  
☐

NOT APPLICABLE/EXEMPT  
☒

Discussion:

The project will obtain its water supply from the Helix Water District which obtains water from surface reservoirs and/or imported sources. The project will not use any groundwater for any purpose, including irrigation or domestic supply.

**IV. RESOURCE PROTECTION ORDINANCE** - Does the project comply with:

The wetland and wetland buffer regulations (Sections 86.604(a) and (b)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Floodways and Floodplain Fringe section (Sections 86.604(c) and (d)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The <u>Steep Slope</u> section (Section 86.604(e))?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Sensitive Habitat Lands section (Section 86.604(f)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>
The Significant Prehistoric and Historic Sites section (Section 86.604(g)) of the Resource Protection Ordinance?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	NOT APPLICABLE/EXEMPT <input type="checkbox"/>

**Discussion:*****Wetland and Wetland Buffers:***

The site contains no wetland habitats as defined by the San Diego County Resource Protection Ordinance. The site does not have a substratum of predominately undrained hydric soils, the land does not support, even periodically, hydric plants, nor does the site have a substratum that is non-soil and is saturated with water or covered by water at some time during the growing season of each year. Therefore, it has been found that the proposed project complies with Sections 86.604(a) and (b) of the Resource Protection Ordinance.

***Floodways and Floodplain Fringe:***

The project is not located near any floodway/floodplain fringe area as defined in the Resource Protection Ordinance, nor is it located near any watercourse which is plotted on any official County floodway/floodplain map. Therefore, it has been found that the proposed project complies with Sections 86.604(c) and (d) of the Resource Protection Ordinance.

***Steep Slopes:***

The site does contain steep slopes according to the RPO. However, according to Section 86.604(e)(2)(iii), public and private utility systems are exempt from this section of the RPO provided that findings are made that the least environmentally damaging alignment has been selected. This site meets this criteria because there are no sensitive biological resources anticipated in the area where the proposed CMU enclosure is to be placed. Therefore, it has been found that the proposed project complies with Section 86.604 (e) the Resource Protection Ordinance.

***Sensitive Habitats:***

No sensitive habitat lands were identified on the site as determined on a site visit conducted by DPLU staff on October 5, 2007. Therefore, it has been found that the proposed project complies with Section 86.604(f) of the Resource Protection Ordinance.

***Significant Prehistoric and Historic Sites:***

Based on an analysis of County of San Diego archaeology resource files, archaeological records, maps, and aerial photographs by County of San Diego staff archaeologist, it has been determined that the project site does not contain any archaeological resources. Therefore, it has been found that the proposed project complies with Section 86.604(g) of the Resource Protection Ordinance.

**V. STORMWATER ORDINANCE (WPO)** - Does the project comply with the County of San Diego Watershed Protection, Stormwater Management and Discharge Control Ordinance (WPO)?

YES  
☒

NO  
☐

NOT APPLICABLE  
☐

**Discussion:**

The Department of Planning and Land Use (DPLU) and Department of Public Works (DPW) staff have reviewed the Stormwater Management Plan (SWMP) For Minor Projects submitted to the County of San Diego on February 22, 2008, and prepared by Deeah Riley, agent for Sprint/Nextel for the proposed unmanned wireless telecommunications facility in the Valle De Oro Community Planning Area within the County of San Diego. This document complies with the County of San Diego Watershed Protection, Stormwater Management, and Discharge Control Ordinance (WPO, Section 67.817).

**VI. NOISE ORDINANCE** – Does the project comply with the County of San Diego Noise Element of the General Plan and the County of San Diego Noise Ordinance?

YES  
☒

NO  
☐

NOT APPLICABLE  
☐

**Discussion:**

The proposal would not expose people to nor generate potentially significant noise levels which exceed the allowable limits of the County of San Diego Noise Element of the General Plan, County of San Diego Noise Ordinance, and other applicable local, State, and Federal noise control regulations.

Project will consist of the construction of five equipment cabinets and two Carrier HVAC units enclosed within a shelter with 10 foot high CMU walls and roof enclosing. Additionally, the proposed exterior wall-mounted HVAC units will be located on the northeastern side of the equipment shelter. The project site is zoned as RR2 and subject to the most restrictive nighttime sound level limit of 45 dBA at the property line.

Based on the noise report, calculations show that the proposed Sprint Communications Facility noise levels will be as high as 38 dBA at the northern property line which is considered the closest property line. For property line receptor noise values, please refer to Table 5 within the noise report prepared by Eilar Associates revised on October 9, 2007. Therefore, the proposed Mattar Property project will comply with County Noise Ordinance, Section 36.404. The Noise Analysis Report is on file with the Department of Planning and Land Use under project P06-058, ER# 06-14-030.



**MSCP FINDINGS**  
**MATTAR RESIDENCE WIRELESS TELECOMMUNICATION FACILITY**  
**P06-058; ER# 06-14-030**

June 5, 2008

Summary

The project is a Major Use Permit to authorize the construction and operation of an unmanned wireless telecommunications facility. The facility will include a 5.5 foot tall faux chimney mounted with 15 panel antennas and placed on the existing single family residence as well as an associated equipment shelter to be placed at ground level. The equipment shelter will have a pitched roof and access doors and will be placed directly adjacent to the single family residence. The project is subject to the General Plan Regional Category of Current Urban Development Area (CUDA), Land Use Designation of 3 (Residential), and is zoned RR2 (Rural Residential). The project site is located within the Metro-Lakeside-Jamul segment of the County's Multiple Species Conservation Program (MSCP) Subarea Plan. The project is therefore required to conform to the MSCP and the Biological Mitigation Ordinance.

Statement of Fact

There are no sensitive habitats or species within the proposed project area. The site is entirely urban/developed and does not support native vegetation. As a Tier IV habitat, no on-site preservation is required and impacts to urban/developed areas do not require mitigation under the Biological Mitigation Ordinance. No impacts to wildlife corridors or linkages will occur as the project site does not support geological, topographic or habitat features that would function in a corridor capacity. Furthermore, the site is not classified as a Biological Resource Core Area as it is not within the Pre-Approved Mitigation Area, is not within or adjacent to a large block of undisturbed habitat, is not mapped as having high habitat value and does not support sensitive species. Given the current site conditions and the surrounding land uses, development of this project will not hinder the formation of a future preserve system.

Conclusion

After consideration of the above facts, the proposed project is found to be in conformance with the Multiple Species Conservation Program and the Biological Mitigation Ordinance.

# Attachment E

## Public Documentation

**VALLE DE ORO COMMUNITY PLANNING GROUP  
P. O. BOX 3958  
LA MESA, CA 91944-3958**

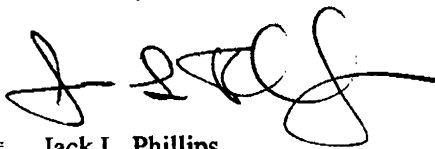
March 17, 2008

Ms. Merry Tondro  
County of San Diego  
Dept. of Planning & Land Use  
5201 Ruffin Rd., Suite B  
San Diego, CA 92123-1666

SUBJECT: P06-058 Replacement (dated 02-22-08), Wireless Telecommunications Facility at  
4395 Alta Mira Drive

Review of subject replacement Plot Plan indicates that, although an appropriate landscape design has been included, the new document does not adequately address the additional recommendations in our letter of November 7, 2007. Therefore, the project cannot be considered acceptable by this Planning Group.

Sincerely,



Jack L. Phillips  
Chairman, VDOCPG  
(619)670-0986

**VALLE DE ORO COMMUNITY PLANNING GROUP**  
**P. O. BOX 3958**  
**LA MESA, CA 91944-3958**

November 7, 2007

Mr. Michael Johnson  
County of San Diego  
Dept. of Planning & Land Use  
5201 Ruffin Rd., Suite B  
San Diego, CA 92123-1666

RECEIVED

NOV 08 2007

San Diego County  
DEPT. OF PLANNING & LAND USE

SUBJECT: P06-058RPL; Wireless Telecommunications Facility at 4395 Alta Mira Drive

This Planning Group considered subject replacement MUP on November 6, 2007 and voted 12-0 to recommend that the project would be considered acceptable if the design is modified and properly documented as specified herein.

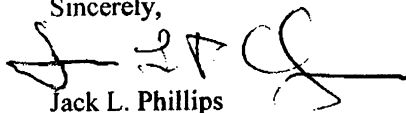
In its current form, the project does not conform with Zoning Ordinance Sections 6984B and 6987F and may not conform with the California Environmental Quality Act due to indications that future expansion of the use is anticipated (equipment structure considerably larger than necessary for the proposed equipment).

Incorporation of the following specific requirements is necessary for this project to conform with the letter and intent of Section 6980 regarding projects in residential areas:

1. To satisfy the visual impact analysis, provide VDOCPG with updated drawings to dress up the façade, stucco the equipment enclosure with a color to match the house, redesign the enclosure doors to resemble barn or shed doors so the enclosure is put into the context of an accessory building stylistically similar to the existing house.
2. To minimize visual impacts, prepare an acceptable landscaping design plan, including drought resistant bushes and landscaping with native species. Specify types and adequate sizes of plantings to produce mature, well-established plants that effectively screen views of the equipment enclosure from Alta Mira Drive and nearby properties.
3. Rather than oversize the equipment shelter, either significantly reduce the floor area of the shelter by 50% or more, or conceal the equipment inside of the existing residence.
4. Modify the air conditioning (AC) enclosure ventilation feature to improve neighborhood compatibility. Reposition the louvers on the AC enclosure so AC noise is directed toward the house at 4395 Alta Mira Drive rather than broadcast toward the street and neighboring properties.
5. Project drawings must show the complete telecommunications project intended for this site including all proposed cabinets in the equipment shelter. Also include a full written description of the intended system (during the meeting, the applicant said that the project drawings show only one of two proposed telecommunications systems and future growth is not shown). The Major Use Permit application must not address a partial project but must contain the full scope of the entire project.

Prepared by VDOCPG by Mr. Dan Hyatt and Mr. Jack Phillips.

Sincerely,

  
Jack L. Phillips  
Chairman, VDOCPG  
(619) 670-0986



# Attachment F

## Ownership Disclosure



COUNTY OF SAN DIEGO • DEPARTMENT OF PLANNING AND LAND USE

# **APPLICANT'S STATEMENT OF DISCLOSURE OF CERTAIN OWNERSHIP INTERESTS ON APPLICATION FOR LAND USE AMENDMENTS AND PERMITS PURSUANT TO ORDINANCE NO. 4544 (N.S.)**

The ordinance requires that the following information must be disclosed at the time of filing of this discretionary permit.

A. List the names of all persons having an *interest* in the application.

<u>Leroy and Doris Mattar</u>	<u>Sprint/Nextel</u>
<u>4395 Alta Mira Dr.</u>	<u>2650 Camino Del Rio North #100</u>
<u>La Mesa CA 91941</u>	<u>San Diego Ca. 92108</u>

List the names of all persons having any *ownership interest* in the property involved.

<u>Leroy and Doris Mattar</u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

B. If any person identified pursuant to (A) above is a corporation or partnership, list the names of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

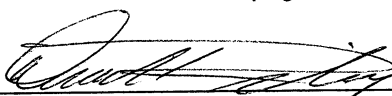
<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

C. If any person identified pursuant to (A) above is a non-profit organization or a trust, list the names of any persons serving as director of the non-profit organization or as trustee or beneficiary or trustor of the trust.

<u></u>	<u></u>
<u></u>	<u></u>
<u></u>	<u></u>

**NOTE:** Section 1127 of The Zoning Ordinance defines Person as: "Any individual, firm, copartnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver syndicate, this and any other county, city and county, city, municipality, district or other political subdivision, or any other group or combination acting as a unit."

**NOTE:** Attach additional pages if necessary.

  
Signature of Applicant

5/1/06 Date  
SDC DPLU RCVD 5/31/06  
P06-058

# Attachment G

## Land Use Analysis

**LAND USE ANALYSIS****I. Planning/Design Issues****A. General Plan****1. Regional Land Use Element**

The proposed project is subject to the Regional Land Use Element Policy Current Urban Development Area (CUDA) and General Plan Land Use Designation (3) Residential.

The project, as proposed, is consistent with the General Plan because it proposes an unmanned telecommunications facility and minor impact utilities are anticipated in the CUDA Regional Category and (3) Residential Land Use Designation. Civic uses are allowed if they support the local population. Therefore, the project is in conformance with the policies of the Regional Land Use Element of the General Plan.

**2. Community Plan**

The goal of the Valle De Oro Community Plan is to encourage development which will lead to a community with a balance of land uses, which will conserve natural and man-made resources, and which will provide a pleasant, safe environment for present and future residents.

The proposed project is for an unmanned wireless telecommunications facility which includes the construction and operation of a 5.5 foot tall faux chimney mounted with 15 panel antennas and placed on an existing single family residence. The proposed project will serve the needs of the local population by improving the countywide telecommunications system, and is designed so as not to detract from the community's residential character. The proposed project would not impact agricultural uses nor would it impact scenic viewsheds. The proposed project has been designed to be stealth and is therefore consistent with the Valle De Oro Community Plan.



## B. Zoning

## 1. Density

The project will not result in any additional residential density on the site because the proposed use is non-residential.

## 2. Wireless Telecommunications Facilities

The location and zoning, as described in Section 6986B and 6986C of the Wireless Telecommunications Facilities Ordinance, has been determined to be preferable due to aesthetic and community character compatibility.

The project is a non-preferred location in a non-preferred zone. Pursuant to Section 6986B of the Wireless Telecommunication Facilities Ordinance, the applicant provided an alternate site analysis and discussed preferred locations in the area and why they were not technologically or legally feasible. Due to the camouflaging of the facility and the lack of preferred zones in the surrounding area, the proposed project has been determined to be preferable due to its aesthetic and community character compatibility.

## II. California Environmental Quality Act (CEQA)/Resource Protection Ordinance (RPO) Issues

## A. CEQA

The proposed unmanned wireless telecommunications facility is exempt from the California Environmental Quality Act as specified under Section 15303 of the State CEQA Guidelines for the reasons detailed in the Notice of Exemption dated June 27, 2008, on file with the Department of Planning and Land Use.

## B. RPO

1. Slope: Slopes with a gradient of 25 percent or greater and 50 feet or higher in vertical height are required to be placed in open space easements by the RPO. There are steep slopes on the property; however, the project site is not located within the portion of the parcel with steep slopes. Therefore, the project is in conformance with Section 86.604(e) of the RPO.
2. Floodplain: The project is not located near any floodway/floodplain fringe area as defined in the Resource Protection Ordinance, nor is it located near

any watercourse which is plotted on any official County floodway/floodplain map.

III. Other Issues

- A. No other issues have been identified.